



AGENDA

July 17, 2023 – County Council Meeting – 10:00 AM

- 1. Call to Order**
- 2. Changes to Agenda and Adoption of Agenda**
- 3. Confirmation of Minutes**
 - 3.1 June 19, 2023 Council Meeting
- 4. Delegations - NIL**
- 5. Public Hearing – 11:00 a.m.**
East Industrial Park Area Structure Plan
- 6. Council Priorities**
- 7. Requests for Decision**
 - 7.1 Utility Within Road Allowance Special Approval Request
 - 7.2 Subdivision File 05-2023
 - 7.3 East Industrial Park ASP Bylaw 1342-23 – 2nd and 3rd Readings
 - 7.4 Policy CC 3002-01 County Flow Chart
 - 7.5 Vermilion RCMP Acknowledgement of Consultation
 - 7.6 Rescind Policies PS 8001-01-A and PS 8004-01-A
 - 7.7 Financial Reserve Policy and Reserve Amount Re-Allocation
 - 7.8 External Financial Auditing Services RFP - Award
 - 7.9 Bridge Engineering Services
- 8. Reports**
 - 8.1 Reeve
 - 8.2 Council
 - 8.3 Operations
 - 8.4 Agriculture and Utilities
 - 8.5 Planning and Development
 - 8.6 Protective Services
 - 8.7 Corporate Services
- 9. Correspondence and Information Items**
 - 9.1 Alberta Municipal Affairs re Assessment and Tax for Oil and Gas
 - 9.2 Alberta Municipal Affairs re MSI Funding
- 10. Closed Session**
 - 10.1 Regional Services - *FOIP Act Section 24 Advice from officials*
- 11. Motions arising out of the Closed Session**
- 12. Councillor Requests (Information Requests and Notices of Motion)**
 - 12.1 Action Item List
- 13. Adjournment**



Council Meeting Minutes

June 19, 2023

Council Members Present: Reeve Roger Konieczny, Division 3
Deputy Reeve Tara Kuzio, Division 5
Councillor Joey Nafziger, Division 1
Councillor Eric Anderson, Division 2
Councillor Cliff Wowdzia, Division 4
Councillor Carl Ogrodnick, Division 6
Councillor Kevin Bentley, Division 7

Administration Present: Pat Podoborzny, Chief Administrative Officer
Norm De Wet, Director of Operations
Jason Warawa, Director of Corporate Services
Mike Fundytus, Director of Protective Services
Davin Gegolick, Director of Planning and Development
Trudy Shukalak, Legislative Services Coordinator

1 CALL TO ORDER

Reeve Konieczny called the meeting to order at 10:01 a.m.

2 ADOPTION OF AGENDA

2023-127

Moved by: Deputy Reeve Kuzio

THAT the June 19, 2023, regular Council meeting Agenda be adopted as presented.

Carried

3 CONFIRMATION OF MINUTES

3.1 May 15, 2023, Regular Council Meeting

2023-128

Moved by: Councillor Wowdzia

THAT the May 15, 2023, regular Council meeting minutes be adopted as presented.

Carried

3.2 May 15, 2023, Special Council Meeting

2023-129

Moved by: Councillor Anderson

THAT the May 15, 2023, Special Council meeting minutes be adopted as presented.

Carried

3.3 May 24, 2023, Special Council Meeting

2023-130

Moved by: Councillor Nafziger

THAT the May 24, 2023, Special Council meeting minutes be adopted as presented.

Carried

3.4 June 5, 2023, Special Council Meeting

2023-131

Moved by: Deputy Reeve Kuzio

THAT the June 5, 2023, Special Council minutes be adopted as presented.

Carried

4 DELEGATIONS

4.1 Bonnie Joynt

Request to waive the false alarm charge in the amount of \$250 regarding the Vegreville Fire Department's response on March 27, 2023.

External Presenter:

Bonnie Joynt

2023-132

Moved by: Councillor Bentley

THAT Council accept the delegation's presentation as information.

Carried

4.2 Vermilion RCMP

Presentation of the Quarterly Community Policing report covering the January 1 to March 31, 2023, reporting period which covers a summary of the human resources, financial data and crime statistics for the Vermilion detachment.

External Presenter:

Sergeant Corey Buckingham, Detachment Commander

2023-133

Moved by: Deputy Reeve Kuzio

THAT Council accept the delegation's presentation as information.

Carried

Reeve Konieczny recessed the meeting at 10:51 a.m.

Reeve Konieczny reconvened the meeting at 11:00 a.m.

Councillor Ogradnick left the meeting at 11:00 a.m.

Councillor Ogradnick returned to the meeting at 11:02 a.m.

5 PUBLIC HEARING – MUNICIPAL DEVELOPMENT PLAN BYLAW NO. 1339-23

Reeve Konieczny declared the Public Hearing for Municipal Development Plan Bylaw No. 1339-23 open at 11:00 a.m.

Administration introduced proposed MDP Bylaw No. 1339-23 and provided a brief overview.

There were no written submissions received.

There were no members of the public present.

Reeve Konieczny declared the Public Hearing Closed at 11:03 a.m.

6 COUNCIL PRIORITIES

2023-134

Moved by: Councillor Ogradnick

THAT the Council Priorities be accepted as presented.

Carried

7 REQUESTS FOR DECISIONS

7.1 Municipal Development Plan Bylaw No. 1339-23

2023-135

Moved by: Councillor Anderson

THAT Council give Municipal Development Plan Bylaw No. 1339-23 second reading.

Carried

2023-136

Moved by: Councillor Wowdzia

THAT Council give Municipal Development Plan Bylaw No. 1339-23 third reading.

Carried

7.2 Closure of Undeveloped Road Allowance – Policy PDS 7005-01

2023-137

Moved by: Councillor Nafziger

THAT Council rescind Closure of Regular Road Allowance Policy OP 9023-01 and approve Closure of Undeveloped Road Allowance Policy PDS 7005-01 that establishes a procedure for the application of the closure of undeveloped road allowances that are no longer required for public travel.

Carried

7.3 Subdivision Application File No. 03-2023

2023-138

Moved by: Member Nafziger

THAT the Subdivision Authority approve Subdivision Application File No. 03-2023 regarding NE 30-48-8-W4M in Division 1, subject to the recommendations of the report presented.

Carried

7.4 East Industrial Park Area Structure Plan Bylaw No. 1342-23

2023-139

Moved by: Deputy Reeve Kuzio

THAT East Industrial Park Area Structure Plan Bylaw No. 1342-23 be given first reading.

Carried

7.5 Regional Economic Development Framework Tender Procurement

2023-140

Moved by: Councillor Ogrodnick

THAT Council award the tender for the Regional Economic Development Framework to Outlook Market Research and Consulting for a cost of \$177,000 funded by the Alberta Community Partnership (ACP) Program in partnership with the Town of Vegreville, Village of Innisfree and Village of Mannville.

Carried

7.6 Yield Signs – Range Road 93 and Township Road 514

2023-141

Moved by: Councillor Anderson

THAT Council approve the installation of two “Yield” signs north and south of the intersection of Range Road 93 and Township Road 514 in Division 3.

Carried

7.7 County Owned Cemeteries – Increased Funding

2023-142

Moved by: Councillor Wowdzia

THAT Council approve to increase the annual funding to the County owned cemeteries (Innisfree, Lavoy, Ranfurly and Minburn) over a three-year period conditional on the execution of a cemetery operating agreement:

- \$1,000 in 2023
- \$1,200 in 2024
- \$1,300 in 2025

Carried

7.8 Non-Profit Organization – 2023 Community Centre Grant Funding

2023-143

Moved by: Councillor Bentley

THAT Council approve the allocation of \$67,000 to non-profit organizations in 2023 as presented, under the Community Centre Grant Funding Program.

Carried

7.9 Lease of County Owned Land – Vegreville Hay Land

2023-144

Moved by: Councillor Wowdzia

THAT Council approve the leasing of approximately 30 acres of hay land that is situated on lands legally described as Lot 1, Block 9, Plan 062 1770 in Part of NE 8-52-14-W4M to Kristen Fischer for a three-year term, commencing June 15, 2023 and ending March 31, 2026 for a cost of \$930 a year plus property taxes.

Carried

8 REPORTS

8.1 Reeve

8.2 Council

8.3 Office of the CAO

8.4 Operations Report

8.5 Agriculture and Utilities Report

8.6 Planning and Development Report

8.7 Protective Services Report

Bonnie Joynt – False Alarm Charge

2023-145

Moved by: Councillor Anderson

THAT Council deny Bonnie Joynt's request to waive the false alarm charge of \$250 as per Fire Services Bylaw No. 1326-22.

Carried

8.8 Corporate Services Report

2023-145

Moved by: Deputy Reeve Kuzio

THAT Council accept the reports as information.

Carried

9 CORRESPONDENCE AND INFORMATION ITEMS

9.1 Vermilion RCMP Quarterly Report

Quarterly Community Policing report covering the January 1 to March 31, 2023, reporting period.

2023-146

Moved by: Councillor Ogrodnick
THAT Council accept the correspondence as information.

Carried

9 CLOSED SESSION

10 OPEN SESSION

11 MOTIONS ARISING OUT OF THE CLOSED SESSION

12 COUNCILLOR REQUEST (Information Request and Notices of Motion)

Code of Conduct Bylaw Review

2023-147

Moved by: Councillor Ogrodnick
THAT Council review Code of Conduct Bylaw No. 1280-19.

Carried

2023-148

Moved by: Councillor Wowdzia
THAT Council accept the Councillor request reports as information.

Carried

13 ADJOURNMENT

Reeve Konieczny declared the meeting adjourned at 12:08 p.m.

Reeve

Chief Administrative Officer

STRATEGIC PRIORITIES CHART (July 2023)

COUNCIL PRIORITIES

NOW

1. **EAST INDUSTRIAL PARK ASP:** Legislative
2. **RECREATION AGREEMENT VEGREVILLE:** Intermunicipal
3. **REGIONAL FIRE CAPITAL PLAN VEGREVILLE:** Protective Services
4. **REGIONAL ECONOMIC DEVELOPMENT FRAMEWORK:** Consultant

TIMELINE

- July 2023
 September 2023
 November 2023
 December 2023

NEXT

- LONG TERM CAPITAL EQUIPMENT REPLACEMENT PLAN (August 2023)
- BYLAW OFFICER CONTRACTED SERVICES (October 2023)
- LAND USE BYLAW REVIEW (December 2023)

ADVOCACY

- *Policing Services/Costs (RMA)*
- *Bridge Funding Continuity (RMA)*
- *Wind Energy Restoration Strategies (RMA)*
- *Broadband Speeds (RMA)*
- *SL3/SL4 Seniors Facility Support (AHS)*
- *Water Act Enforcement and Approvals (AEP)*
- *Rural Medical Services (RMA)*

OPERATIONAL INITIATIVES

OFFICE of the CAO

1. *WIND ENERGY PROJECTS – Soil Segregation/End of Life Advocacy – Awaiting action from the Province*
2. **RECREATION AGREEMENT: VEGREVILLE –** September 2023
3. POLICY AND BYLAW REVIEW- October 2023
4. Staff Job Descriptions and Salary Grid – October 2023
5. BYLAW OFFICER CONTRACTED SERVICES – October 2023

CORPORATE SERVICES

1. Reserve Policy – July 2023
2. Financial System Investigation – July 2023
3. Auditors RFP Award – July 2023
4. Budget 2024 – August 2023
5. Procurement Policy – August 2023
6. Employee Handbook – November 2023

PLANNING AND DEVELOPMENT

1. **EAST INDUSTRIAL PARK ASP: ADOPTION – JULY 2023**
2. **REGIONAL ECONOMIC DEVELOPMENT FRAMEWORK: KICK-OFF MEETING – AUGUST 2023**
3. Orthophoto update - September 2023
4. LAND USE BYLAW REVIEW - DECEMBER 2023

PROTECTIVE SERVICES

1. **REGIONAL FIRE CAPITAL PLAN VEGREVILLE –** November 2023
2. Updated Health & Safety Manual – Sept 2023
3. Emergency Management Operations Centre (Admin building basement) – Sept 2023

OPERATIONS

1. LONG TERM CAPITAL EQUIPMENT REPLACEMENT PLAN – August 2023
2. Grader Beat Review – Ongoing
3. Operations Shop Concept Investigation –needs strategic plan for Council

AGRICULTURE & UTILITIES

1. Solid Waste MOU – Innis/Mann/Min – complete
2. Waste Collection and Disposal RFP – complete
3. Roadside Mowing Contract RFQ - complete
4. Parks and Recreation Mowing Contract RFQ– complete

CODES:

BOLD CAPITALS = Now Priorities; CAPITALS = Next; *Italics* = Advocacy; Regular Case = Operational Strategies

2 – 3 Year OUTLOOK

1. *Service Level Review – Dec. 2023*
2. *Strategic Plan Workshops – Dec. 2023*



Council Request for Decision (RFD)

Title: _____

Meeting Date: _____

Department: _____

Recommendation:

Background:

See Appendix

Legislative Guidance:

Provincial Municipal None

Details:

Council Priorities Chart:

Yes No

Details:

Previous Council Direction:

Financial Implications:

Capital Operations Other

Details:

Communication and Engagement:

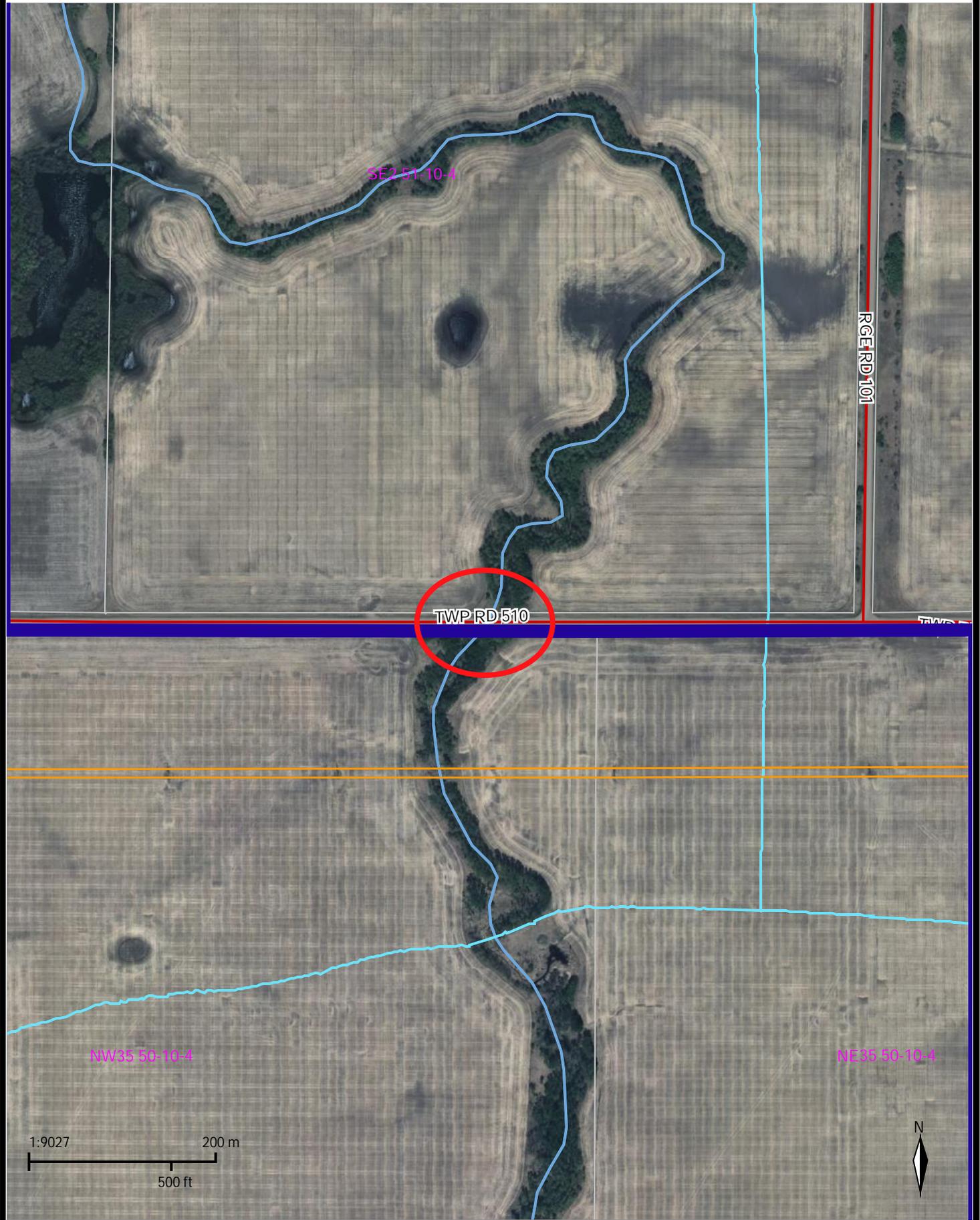
Implementation Timeline:

Attachments:

Prepared By: _____

Reviewed By: P. Podobny

Proposed Underground Crossing





Proposed underground bore
on south side of Twp Rd 510
road allowance

From: [Schram, Suzanne](#)
Sent: June 28, 2023 11:32 AM
To: [Shirley Kercher](#)
Subject: RE: ATCO 7L65 Distribution Line Move

You don't often get email from suzanne.schram@atco.com. [Learn why this is important](#)

Hi Shirley,

Yes, please proceed with presenting it to Council.

Thanks

Suzanne Schram B.ScF, RPF
Land Planner
Electricity Global Business Unit

C. 587 588 7181

A. 10th Floor 10035-105 Street, Edmonton, Alberta Canada T5J 1C8



From: Shirley Kercher <skercher@minburncounty.ab.ca>
Sent: Wednesday, June 28, 2023 11:10 AM
To: Schram, Suzanne <Suzanne.Schram@atco.com>
Subject: RE: ATCO 7L65 Distribution Line Move

****Caution - This email is from an external source. If you are concerned about this message, please report using Phish Alert Button in your Outlook for analysis.****

My apologies for late reply. Being how this is going against PDS Policy 7004-01-A, this application must be taken to Council for approval. The next Council Meeting is July 17, 2023.

Am I ok to proceed with this being presented to Council on July 17th?

Shirley Kercher
MUNICIPAL CLERK



Ph. 780-632-2082 ext. 1102
Fx. 780-632-6296
www.minburncounty.ab.ca

From: Schram, Suzanne <Suzanne.Schram@atco.com>
Sent: Wednesday, June 28, 2023 8:34 AM
To: Shirley Kercher <skercher@minburncounty.ab.ca>
Subject: RE: ATCO 7L65 Distribution Line Move

You don't often get email from suzanne.schram@atco.com. [Learn why this is important](#)

Hi Shirley,

Just following up on this.

Thanks,

Suzanne Schram B.ScF, RPF
Land Planner
Electricity Global Business Unit

C. 587 588 7181

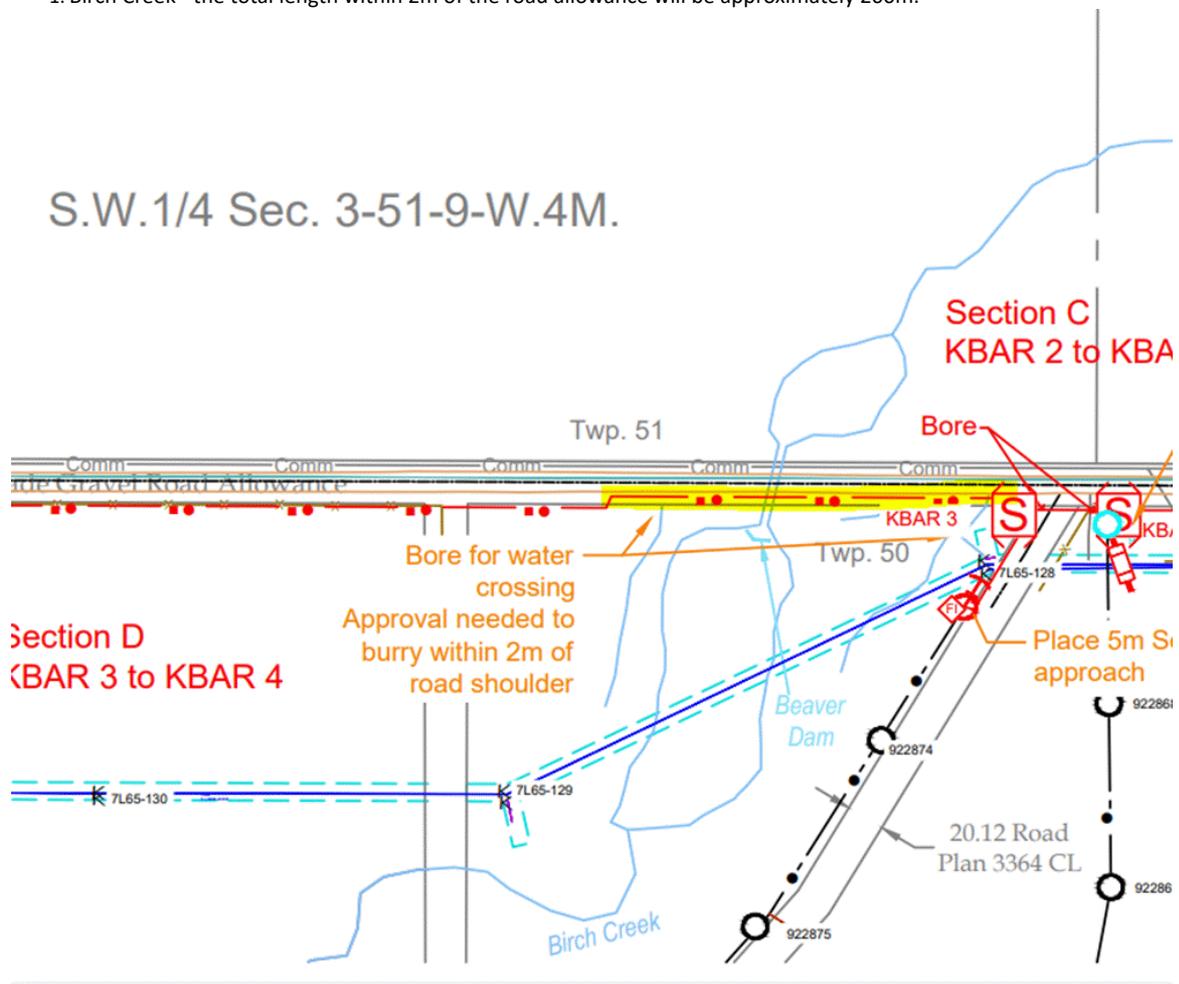
A. 10th Floor 10035-105 Street, Edmonton, Alberta Canada T5J 1C8

From: Schram, Suzanne
Sent: Wednesday, June 21, 2023 9:47 AM
To: skercher@minburncounty.ab.ca
Subject: ATCO 7L65 Distribution Line Move

Hi Shirley,

ATCO is moving the distribution line from overhead to underground from NW 35-50-9-W4M to NW 33-50-10-W4M. In this move, there are 2 watercourses that ATCO has concerns about and would like to bore within 2m of the road shoulder instead of the standard 0.6m. ATCO would like to pursue this option as it avoids damaging existing culverts with the bore, as well as avoids potential damage or bore collapse when crossing under the watercourse. The designs are shown below:

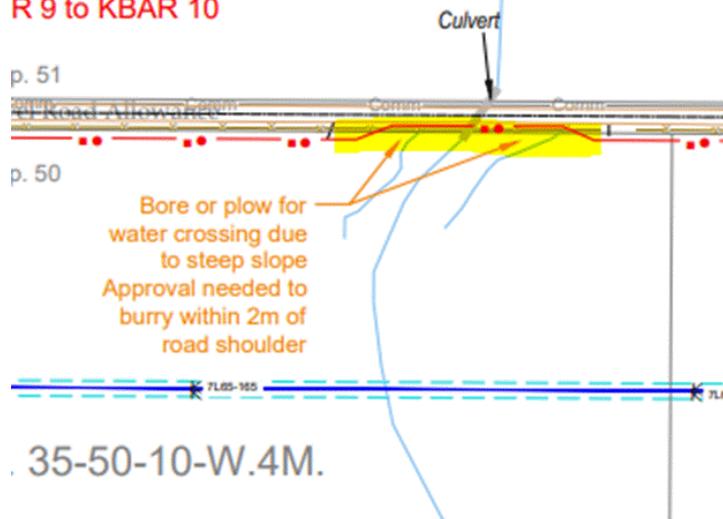
1. Birch Creek - the total length within 2m of the road allowance will be approximately 200m.



2. Cross creek - approximately 75m within road

S.E. 1/4 Sec. 2-51-10-W.4M.

ion L
R 9 to KBAR 10



Please let me know if ATCO will be able to construct further within the road allowance or if there are any other suggestions.

Thanks,

Suzanne Schram B.ScF, RPF
Land Planner
Electricity Global Business Unit

C. 587 588 7181

A. 10th Floor 10035-105 Street, Edmonton, Alberta Canada T5J 1C8



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PLANNING AND DEVELOPMENT SERVICES

Title: Utilities Within County Road Allowances

Supersedes Policy Number: PDS 4

Policy Number: PDS 7004-01-A

Next Review Date: 2024

Approved by Council: June 15, 2020

Last Review Date: N/A

Resolution No: 82-20

POLICY STATEMENT

The County of Minburn is committed to ensure all Utilities installed within any of the County's road rights-of-way do not cause damage to any of the County's infrastructure nor impede the safe operation of the road right-of-way.

PURPOSE

To define the minimum requirements for the installation of Utilities within the road right-of-way boundary of any public road under the direction, control, and management of the County of Minburn.

SCOPE

This policy applies to all utility companies.

POLICY PRINCIPLES

1. Utilities must be installed within utility rights-of-way adjacent to municipal road allowances wherever possible. Pipelines running parallel to the road cannot be installed within the County's road rights-of-way.
2. Utilities that are proposed to be installed within or adjacent to municipal road allowances require the approval of the County prior to installation.
3. Where Utility rights-of-way adjacent to a municipal road allowance is unattainable, the County may grant approval for the placement of such Utilities within the municipal road allowance.
4. **Electrical utilities shall be located no further than 0.6 m (2.0 ft.) from the boundary of the road allowance and shall be located no closer than 9.0 m (29.5 ft.) from the center of the road.**

5. Written requests for approval along with plans for all proposed Utilities within the municipal road allowance shall be submitted by the Company to the County of Minburn No. 27 at least thirty (30) days prior to the proposed construction/installation date.
6. In addition to the construction plans and 3D drawings identifying the location of the proposed Utilities in relation to the municipal road (including setbacks), the Company shall provide the County with shape files of the proposed Utilities for use in the County's GIS system.
7. The Company must restore all ground disturbances or damage that occurs as the result of the installation and placement of the Utility in municipal road allowances to pre-existing or better conditions to the satisfaction of the County.
8. The placement of any Utility in municipal road allowances must not result in the disturbance of any driving surface or road infrastructure without the prior approval of the County.
9. The Company shall be liable to the County for all losses, costs, damages and expenses whatsoever which the County may suffer, sustain, pay or incur.
10. The Company, its successors and assigns shall indemnify and save harmless the County of and from any and all losses, costs, charges, liabilities, damages and expenses (including without limiting the generality of the foregoing any and all liabilities to third parties, whether in contract, tort, or otherwise) which the Company at any time or times hereafter shall or may bear, suffer, sustain or incur for or by reason of the Company, its successors or assigns use of the road allowance area or by reason of the negligence of the Company, its successors and assigns servants, agents, employees or contractors.
11. Neither party shall be held responsible for damages or other losses caused by delay or failure to perform the provisions of this Policy where such delay or failure is directly or indirectly caused by or results from events beyond the control of either party. These events shall include fire, flood, earthquake, accident, civil disturbances, war, rationing, embargoes, strikes or labour stoppages, acts of God, or acts of government.
12. Should relocation, locating or protection of the Utility be required by the County in the future, with no other alternative being identified, the Company, its successors or assigns agree to relocate, locate, or protect the Utility within the existing right of way with all reasonable costs relative thereto being borne by the Company, its successors or assigns. The County shall provide written notice to the Company, its successors or assigns at least sixty (60) days prior to the relocation, locating, or protecting being required.

EXEMPTIONS:

1. Council may exempt a road from this policy by a resolution of Council.

DEFINITIONS

1. '*Company*' means the utility company
2. '*Council*' means the duly elected Council of the County of Minburn No. 27
3. '*County*' means the County of Minburn No. 27
4. '*Utility*' means public or private infrastructure to provide transmission service for (but not limited to) telecommunications, power, gas, water, storm sewer or sanitary sewer.

Responsibilities

1. Council: to amend this policy from time to time, ensure it is meeting the overall objectives of the municipality, and consider special permission requests as presented by the Planning and Development Officer.
2. CAO: to ensure compliance to this policy.
3. Director of Operations: to provide guidance to the Planning and Development Officer and Municipal Clerk on adherence to this policy and on discretionary decisions that need to be made.
4. Planning and Development Officer: to ensure the Municipal Clerk is provided with clear direction on the principles of this policy and that they are being applied in a consistent manner across the entire County. Presenting special permission requests to Council for consideration.
5. Municipal Clerk: to process applications for utilities within County road allowances while adhering to and carrying out the principles of this policy.



Chief Administrative Officer



Council Request for Decision (RFD)

Title: _____

Meeting Date: _____

Department: _____

Recommendation:

Background:

See Appendix

Legislative Guidance:

Provincial Municipal None

Details:

Council Priorities Chart:

Yes No

Details:

Previous Council Direction:

Financial Implications:

Capital Operations Other

Details:

Communication and Engagement:

Implementation Timeline:

Attachments:

Prepared By: _____

Reviewed By: P. Padoborzny



COUNTY OF MINBURN NO. 27

P.O. Box 550
4909 - 50th Street
Vegreville, Alberta
Canada T9C 1R6

Phone: (780) 632-2082
Fax: (780) 632-6296

www.MinburnCounty.ab.ca
E-Mail: info@minburncounty.ab.ca

COUNTY OF MINBURN NO. 27 SUBDIVISION AUTHORITY OFFICER REPORT

A. BACKGROUND:

File Number: 05-2023

Legal: SE 15-53-14-W4M

Owners: John Steinbach, Sheila Steinbach, and Keith Steinbach

Applicant: Kingsley Obi (Explore Inc.)

Date Accepted: June 20, 2023

Decision Due Date: August 19, 2023

Existing Use: Agricultural

Proposed Use: Rural Residential

¼ Section Designation: Arable Quarter

Gross Area: 63.31 Ha (156.57 ac)

Proposed Area: Lot 1, Block 1 – 8.36 Ha (20.6 ac)

Zoning: A: Agricultural District

Division: 4

B. DESCRIPTION OF PROPOSAL:

The subject property is located on SE 15-53-14-W4 in Division 4, approximately 4 km east of Brookwood Estates on Twp Rd 532. The applicant is proposing to separate the existing farmstead from the quarter. Proposed Lot 1 is 20.6 ac and includes the dwelling, garage, three outbuildings, treed area, and two pasture areas on the west bank of the Vermilion River. The proposed remnant parcel primarily consists of cultivated farmland. Road widening has not yet been dedicated towards Rge Rd 142 but not towards Twp Rd 532. There is existing access to proposed Lot 1 but no existing access to the proposed remnant parcel.

C. NOTIFICATION:

Adjacent property owners and agencies were notified on June 21, 2023 – ATCO Electric will be reaching out to the landowners for acquiring a power line right of way - no objections.

D. COMPLIANCE:

It appears the southern-most shed as indicated on the Tentative Plan of Subdivision was constructed between 2013 and 2018 without development permit approval. Other than the unpermitted shed, the proposed subdivision is compliant with statutory plans and Matters Relating to Subdivision and Development Regulation.

E. RESERVES:

Pursuant to Section 663(a) of the Municipal Government Act, reserves are not required.

F. RECOMMENDATION

That the proposed subdivision application be **approved**, subject to the following conditions:

1. That prior to endorsement, a registerable instrument be prepared by an Alberta Land Surveyor and submitted to the County, and the registerable instrument shall be in conformance with the approved tentative plan of subdivision.
2. That the registered owner/applicant enter into a development agreement by way of Caveat with the County of Minburn pursuant to Sections 661 and 662 of the Municipal Government Act, 2000 as amended, pertaining to the provision of land for future road widening as required.
3. That the registered owner/applicant enter into a development agreement by way of Caveat with the County of Minburn pursuant to Sections 661 and 662 of the Municipal Government Act, 2000 as amended, pertaining to the provision of land for a future approach as required.
4. That prior to endorsement of the registerable instrument, a development permit be issued for the Accessory Building (southern-most shed as indicated on the Tentative Plan of Subdivision).
5. That all outstanding property taxes are to be paid pursuant to Section 654 of the Municipal Government Act, 2000 as amended.

Information Items (these are not conditions of approval):

1. That a development permit application is required for any proposed future development of the subject lot (i.e. addition, change in use, Accessory Building, etc.). Please contact County of Minburn Planning and Development at 780-632-2082 for further information.
2. That the necessary Safety Code Permits, which include building, plumbing, electrical, gas and private sewage permits would be required prior to any and all new construction, alteration, or change in use or occupancy of a building on-site. Please

contact the Inspections Group at 1-866-554-5048 for further information on Safety Code Permit requirements.

3. That registration of the proposed subdivision at the Land Titles office may result in a change in the assessment of proposed Lot 1, Block 1. Please contact Municipal Assessment Services at 780-939-3310 with regards to any questions about assessment.
4. That ATCO Electric requires a right of way agreement on all facilities affected by this subdivision and will be in touch with the landowners for the signing of this agreement.
5. The proposed subdivision may be affected by a permanent, naturally occurring body of water or watercourse. The Province has an interest in the Crown ownership of Provincial waterbodies/or Public Land boundaries in Alberta. **Development or water diversion may not occur in waterbodies including wetlands, watercourses, or Public Lands without prior consultation and approval from Alberta Environment and Protected Areas.** If you have any questions about development on or near water bodies, watercourses, or public land please contact Alberta Environment and Protected Areas prior to undertaking any activity (including construction of a private driveway) within or near the wetland.
6. That approval of this application does not excuse the applicant from ascertaining and complying with the requirements of other municipal bylaws, easements, environmental reserve easements, covenants, conservation agreements, development agreements, or Provincial or Federal statutes, regulations, licenses or codes or standards of practice.

G. ATTACHMENTS:

- ◆ Location plan
- ◆ Application form
- ◆ Tentative Plan/Air Photo
- ◆ Inspection Summary

Prepared by Davin Gegolick on July 12, 2023



SUBDIVISION APPLICATION

For Office Use Only	
Date Received:	File #
Date Complete:	Roll #
June 20, 2023	

1. NAME AND MAILING ADDRESS OF THE APPLICANT

	P/C

Email:	
Phone:	
Cell:	

By checking this box I accept correspondence by email only

2. NAME AND MAILING ADDRESS OF THE OWNER (if not the applicant) ***See attachment for additional landowner information

Check if owner is the same as the applicant

Email:	
Phone:	
Cell:	

3. LEGAL DESCRIPTION AND AREA OF LAND TO BE SUBDIVIDED (ie: existing titled area)

All part of the ¼ sec. twp. range west of the 4th meridian

Being all parts of Lot Block Plan

Certificate of Title No.

Area of the above parcel of land to be subdivided hectares (ie: existing titled area)

Municipal address (if applicable)

4. LOCATION OF LAND TO BE SUBDIVIDED

a. Is the land in the County of Minburn? Yes No

b. Is the land adjacent to a municipal boundary? Yes No

If "yes", the adjacent municipality is

c. Is the land located within 1.6 km of the highway right-of-way? Yes No

If "yes", the highway is No.

d. Is the land located within 450m of a landfill/waste facility? Yes No

e. Is the land located within 300m of a sewage lagoon? Yes No

f. Is the land located within 800m of a Confined Feeding Operation (feedlot, dairy)? Yes No

g. Does the proposed parcel contain or is it bounded by a river, stream, lake or other body of water, or by a drainage ditch or canal? Yes No

If "yes", state its name (if known):

h. Is the proposed parcel within 1.5 km of a sour gas facility? Yes No

i. Is the land the subject of a license, permit, approval or other authorization granted by the Natural Resources Conservation Board, Energy Resources Conservation Board, Alberta Energy Regulator, Alberta Energy & Utilities Board or Alberta Utilities Commission? Yes No

If "yes" please describe:

j. Is the land the subject of the application is the subject of a license, permit, approval or other authorization granted by the Minister or granted under any Act the Minister is responsible for

under s.16 of the Government Organization Act?

Yes No

If yes, please describe:

**The Minister is responsible for the following Acts: AB Land Stewardship Act, Environmental Protection Act, Public Lands Act, Surveys Act, Water Act. Please see attached list of resources for identifying this information.*

5. EXISTING AND PROPOSED USE OF LAND TO BE SUBDIVIDED – describe the following:

Existing use of the land (agricultural, rural residential, etc.):

Proposed use of the land:

Land Use District (Agricultural, Hamlet Residential, etc.):

6. PHYSICAL CHARACTERISTICS OF LAND TO BE SUBDIVIDED (WHERE APPROPRIATE)

Describe the nature of the topography of the land (flat, rolling, steep, mixed):

Describe the nature of the vegetation and water on the land (brush, shrubs, treed, woodlots, sloughs, creeks, etc.):

Describe the kind of soil on the land (sandy, loam, clay, etc.):

7. EXISTING BUILDINGS ON THE LAND TO BE SUBDIVIDED

Describe any building and any structures on the land and whether they are to be demolished or moved:

8. WATER AND SEWER SERVICES

If the proposed subdivision is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and treating sewage:

9. CERTIFICATION

I hereby certify that I am the registered owner(s) authorized agent and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of facts relating to the condition of the property referred to in this application for the subdivision.

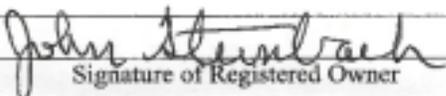
Signature

Signature

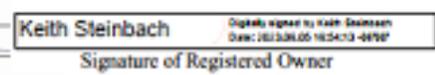
Date

10. RIGHT OF ENTRY

I/We, authorize staff of the County of Minburn to enter upon my/our land for the purpose of conducting a site inspection with respect to my subdivision application.


Signature of Registered Owner


Signature of Registered Owner

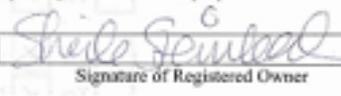

Signature of Registered Owner

Are there any access restrictions/hazards we should be aware of prior to accessing the lands for inspection (dogs, locked gates, tenants, etc.)?

11. REGISTERED OWNER'S CONSENT

I/We, the above named registered owner(s) of (legal description) do hereby authorize the applicant named above to make application for subdivision.


Signature of Registered Owner


Signature of Registered Owner


Signature of Registered Owner

This personal information is being collected under the authority of the *Municipal Government Act Subdivision and Development Regulation 43/2002* and will be used to process the subdivision application. If you have any questions or require further information please contact Planning and Development, County of Minburn, Box 550, Vegreville, Alberta, T9C 1R6, telephone 780.632.2082 or email dgegolick@minburncounty.ab.ca

TENTATIVE PLAN

SHOWING PROPOSED SUBDIVISION WITHIN

S.E.1/4 Sec.15 Twp.53 Rge.14 W.4M.

COUNTY OF MINBURN NO. 27



LEGEND:

- Proposed Parcel shown as: _____
- Water Well location shown as: ⊙
- Pumpout location shown as: ⊙

Distances are in metres and decimals thereof.



Plan Prepared by:
Explore Geomatics Inc.
Edmonton, Alberta
Toll Free 1-866-936-1805
Fax No. 780-800-1927



REV. NO.	DESCRIPTION	DATE
0	PLAN ISSUED	JUNE 2, 2023
1	ADDED GAS CO-OP	JUNE 14, 2023

Job X047523

Rev. 1

SURVEYED BY: I.F.

CALC'D BY: K.O.

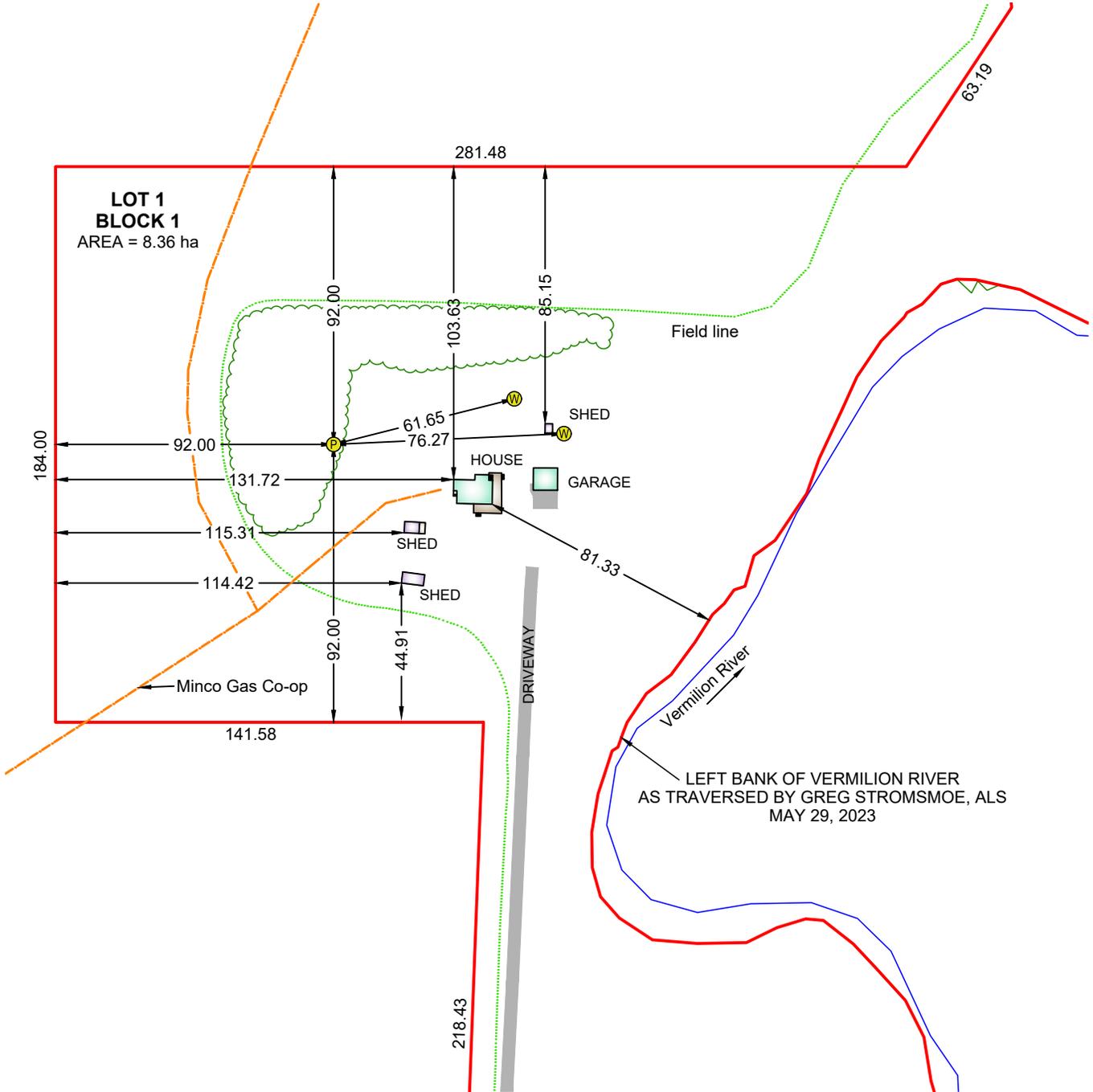
DRAWN BY: M.S.

TENTATIVE PLAN

SHOWING PROPOSED SUBDIVISION WITHIN

S.E.1/4 Sec.15 Twp.53 Rge.14 W.4M.

COUNTY OF MINBURN NO. 27



LEGEND:

- Proposed Parcel shown as: ————
- Water Well location shown as: W
- Pumpout location shown as: P

Distances are in metres and decimals thereof.



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From Twp Rd 532 facing north: proposed Lot 1 with approach off Twp Rd 532



Another angle of proposed Lot 1, facing SE



Pasture area NE of the yard proposed to be included in Lot 1: area is low, surrounded by the Vermilion River on the east side



Closeup of yard site within proposed Lot 1 containing the dwelling, garage, and 3 accessory buildings



Septic pump out located west of the dwelling in the bushes



Storage building moved onto the property some time between 2013 and 2018. No development permit approval.



Water well located north of the dwelling



A second water well located within proposed Lot 1, located NE of the dwelling



Inspection Summary:

- Topography – proposed Lot 1 is mainly flat around the yard site with low areas near the Vermilion River to the east and NE of the yard site. Remnant parcel is mainly flat on the west and east sides of the Vermilion River (cultivated farmland). Land immediately adjacent to the Vermilion River is generally low.
- Nature of vegetation and water – mainly grass/pasture with some brush within proposed Lot 1. Brush surrounds the Vermilion River.
- Confirmed two existing water wells within proposed Lot 1
- Confirmed the location of existing septic pump out
- Use of land in the vicinity – Agricultural, rural residential, abandoned Brush Hill Church and Hall.



Council Request for Decision (RFD)

Title: _____

Meeting Date: _____

Department: _____

Recommendation:

Background:

See Appendix

Legislative Guidance:

Provincial Municipal None

Details:

Council Priorities Chart:

Yes No

Details:

Previous Council Direction:

Financial Implications:

Capital Operations Other

Details:

Communication and Engagement:

Implementation Timeline:

Attachments:

Prepared By: _____

Reviewed By: P. Podoborsky

RFD Appendix

East Industrial Park Area Structure Plan (ASP)

Through grant approval of the ACP Program (IC Component), the County and Village of Mannville have been working together over the past year to develop this joint ASP. This ASP implements the objectives of the County-Village Intermunicipal Development Plan (IDP) and will stimulate local and regional economic growth by creating an environment of investment certainty.

The ASP is located immediately adjacent to the east boundary of the Village of Mannville, as shown below in Figure 1, and through analysis of land use, storm water, servicing, and transportation requirements; provides policy direction for approximately 2.5 quarter sections suitable for future industrial/commercial development. The ASP also provides a Shadow Plan for the strip of industrial land just inside the Village’s boundary adjacent to the plan boundary. The Shadow Plan is for discussion purposes and will not form part of the ASP bylaw.

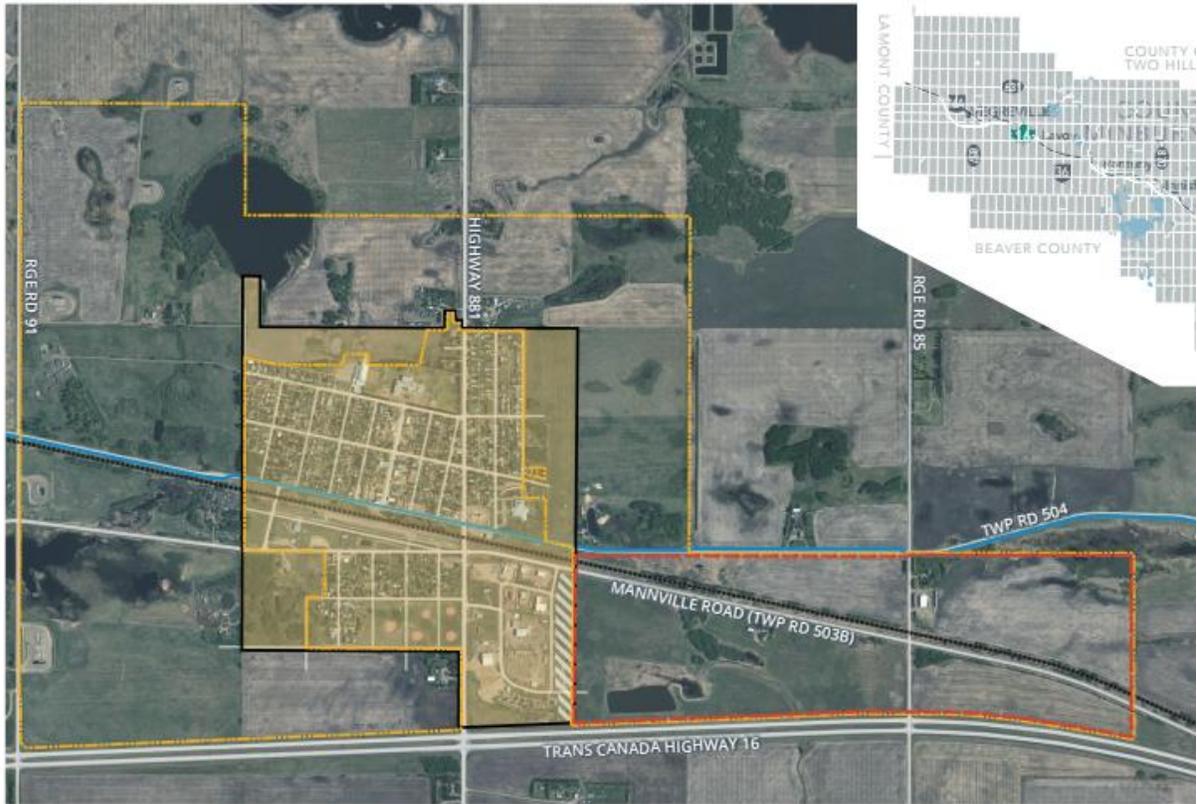


FIGURE 1
LOCATION &
PLAN BOUNDARY



East Industrial Area Structure Plan: Edits Summary Table

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
All	All		Addressed typographical errors throughout	To improve comprehension.
li/ii	ToC	Appendices Appendix A – Biophysical Report Appendix B – Geotechnical Report Appendix C – Lagoon Assessment Report Appendix D – Transportation Review Appendix E – Servicing Brief Appendix F – Stormwater Management Plan	Appendices Appendix A – Biophysical Report Appendix B – Geotechnical Report Appendix C – Lagoon Assessment Report Appendix D – Transportation Review Appendix E – Servicing Brief Appendix F – Stormwater Management Plan Appendix G – Certificates of Title (redacted)	To update reference.
1/1	1.0	The East Industrial Park Area Structure Plan (ASP) study area is located immediately east of the Village of Mannville in the County of Minburn, Alberta, Canada. The ASP location is also adjacent to the Yellowhead, Highway 16. See Figure 1 for location and context map.	The East Industrial Park Area Structure Plan (ASP) study area is located immediately east of the Village of Mannville in the County of Minburn, Alberta, Canada comprising seven parcels: <ol style="list-style-type: none"> 1. NW 20-50-8-4 2. North half 19-50-8-4 (north of the CN Railway) 3. NW 19-50-8-4 (south of the CN Railway) 4. NE 19-50-8-4 (south of the CN Railway) 5. Lot 1, Block 1, Plan 062 6818 6. Lot 1, Block 1, Plan 212 2252 	To add legal land descriptions.

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
			<p>7. Block A, Plan 852 0860 (Shadow Plan lands in the Village of Mannville)</p> <p>The ASP location is also adjacent to the Yellowhead Highway 16. See Figure 1 for location and context map.</p>	
8/8	3.1.2	<p>A desktop analysis of historic aerial photographs between the years 1980 and 2021 was used to identify potential wetland areas. In total, eight graminoid marsh wetlands and one ephemeral wetland were identified, totaling 20.98 ha (see Figure 2). Future in-field surveys may find more wetlands than identified by the biophysical desktop analysis. Moreover, wetland 1 (W1) is partially formed by a human-made borrow pit.</p>	<p>A desktop analysis of historic aerial photographs between the years 1980 and 2021 was used to identify potential wetland areas. In total, eight graminoid marsh wetlands and one ephemeral wetland were identified, totaling 20.98 ha (see Figure 2) within the ASP boundary. Wetlands W2 and W9 extend beyond the ASP boundary, but only those portions of the wetlands within the ASP boundary are included in the total wetland area, and in Table 1 below.</p> <p>Future in-field surveys may find more wetlands than identified by the biophysical desktop analysis. Moreover, wetland W1 is partially formed by a human-made borrow pit.</p>	<p>To add clarity regarding location of and impact on wetlands outside the ASP boundary.</p>
9/8	3.1.2	<p>Wetland impact compensation rate for this area of Alberta is \$18,600/ha in 2022, and is subject to change. The compensation values for impacting the 9 identified wetlands are summarized below in Table 1, and current values should be obtained by the developer as necessary. Wetland Compensation Summary, sourced from Table 2 in the</p>	<p>Wetland impact compensation rate for this area of Alberta is \$18,600/ha in 2022, and is subject to change. The compensation values for impacting the nine identified wetlands are summarized below in Table 1 and will need to be confirmed based on future field verified wetland assessments. Future Water Act applications for direct impacts to</p>	<p>To add clarity regarding the requirements by developers to undertake in-field analysis to confirm impact on wetlands.</p>

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
		<p>biophysical assessment found in Appendix A.</p>	<p>wetlands within the ASP boundary will need to include planning, best management practices, and mitigation measures to avoid and minimize impact in order to protect those areas of wetland outside of ASP lands. Furthermore, current values should be obtained by the developer as necessary. Wetland Compensation Summary, sourced from Table 2 in the biophysical assessment found in Appendix A of this ASP.</p>	
13/13	3.2.3.2	<p>BAR Engineering prepared an analysis of the Village’s lagoon capacity in 2009. That report concluded the lagoon was under capacity for the population, assumed to be 800 at that time, and made recommendations for improvement. However, anecdotally, the Village has not experienced practical capacity issues.</p> <p>The lagoon consists of three different types of cells: anaerobic cells, facultative cells and storage cells. Each type of cell must meet minimum requirements set out by the Alberta government based on population. Anerobic cells must each have sufficient volume to allow for 2 days’ retention of sewage inflow to allow for solids to settle out. Facultative cells should allow for a</p>	<p>The Village of Mannville’s sewage lagoon is permitted to discharge treated effluent from the lagoon’s storage cells into the Vermilion River once per year during a three-week period between March 1st and November 30th (BAR Engineering, 2009).</p> <p>In response to the Village experiencing difficulty being able to retain the volume of treated effluent within its storage cells to allow for the annual discharge at the same time every year, BAR Engineering was retained in 2009 to undertake an analysis of the lagoon capacity (BAR Engineering, 2009).</p> <p>The 2009 analysis concluded that existing anerobic cells of the lagoon are adequately sized to meet the current and</p>	<p>Response to review comments from Village of Mannville</p>

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
		<p>retention period of 60 days. The storage cells should allow for a combined storage volume of 128,480m³.</p> <p>The 2009 report found that the anaerobic cells had enough capacity to allow for a population of over 1400 people. However, the facultative cells only allowed retention for 38 days (or a population of 515 persons for 60 days), and the storage cells had combined capacity of only 103,600m³. Therefore, it was determined that the facultative and storage cells were undersized for the current and projected population of the Village.</p> <p>It was recommended that the facultative cells be expanded to achieve a total capacity of 31,310m³ and that the storage cells be expanded to accommodate a total annual storage capacity of 190,530m³.</p> <p>The total estimated cost of the recommended improvements was \$1.5M to serve a population of up to 1186 by 2034 (based on population projection of 1.5% per annum).</p> <p>No improvements to the lagoon have been implemented since the 2009 report.</p>	<p>future needs of the Village. However, the storage cells of the lagoon could be challenged to provide adequate storage capacity to accommodate any population growth or unanticipated additional flows caused by inflow and infiltration during a wet, rainy year or major storm event (BAR Engineering, 2009). These circumstances could require a premature discharge of the effluent from the storage cells to avoid the storage berms from being over-topped (BAR Engineering, 2009).</p>	

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
		The current capacity of the sewage lagoon remains insufficient for the current population, which according to Stats Canada was 765 in 2021. The facultative cells only allow for 40-day retention period rather than the 60 days as required by the Alberta government, and the storage cells can only accommodate a population of 577. Additional discussion is found in section 6 below.		
16/16	4.1	The Future Land Use Concept (FLUC) comprises agricultural lands and land identified for future rural commercial/industrial, with independently serviced and potentially municipally serviced lots. The road layout is simple and designed to minimize additional development costs. The subdivision layout shown is conceptual and for discussion purposes only. Changes to the subdivision concept shown will not require an amendment to the ASP.	The Future Land Use Concept (FLUC) comprises agricultural lands and land identified for future rural commercial/industrial, with independently serviced lots (eastern half of ASP boundary) and potentially municipally serviced lots (western half of ASP boundary). The road layout is simple and designed to minimize additional development costs. The subdivision layout shown is conceptual and for discussion purposes only. Changes to the subdivision concept shown will not require an amendment to the ASP.	To clarify location of two distinct types of lots: those which are independently serviced and those which may be municipally serviced in the future.
17/17	4.1	Existing wetlands represent approximately 21 ha of land, and setbacks around these wetlands may be dedicated as environmental reserve or environmental reserve easement. Setbacks will need to be determined by a qualified professional prior to subdivision.	Existing wetlands represent approximately 21 ha of land, and setbacks around these wetlands may be dedicated as environmental reserve or environmental reserve easement. Setbacks will need to be determined by a qualified professional prior to subdivision	To add clarity regarding wetland setbacks. To clarify location of two distinct types of lots: those which are independently serviced and

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
		It is important to the Village's economic development that its supply of existing industrial land be mostly built out before the lots identified in the ASP boundary are subdivided, serviced and marketed.	<p>based on future field verified wetland assessment.</p> <p>It is important to the Village's economic development that its supply of existing industrial land be mostly built out before the smaller lots identified in the western half of the ASP boundary are subdivided, serviced and marketed.</p>	those which may be municipally serviced in the future.
20/20	4.4	However, it is expected that the larger, unserviced lots within the county and with visibility from Highway 16 will develop first. The next group of unserviced lots to develop will likely be those north of the CN Railway, west of Range Road 85. Finally, those smaller, potentially serviced lots adjacent to the Village's west boundary will likely develop last in consideration of the County's commitment to avoiding direct competition with the Village for serviced industrial lots.	However, it is expected that the larger, unserviced lots within eastern half of the ASP boundary with visibility from Highway 16 will develop first. The next group of unserviced lots to develop will likely be those north of the CN Railway, west of Range Road 85. Finally, those smaller, potentially serviced lots in the western half of the ASP boundary adjacent to the Village's east boundary will likely develop last in consideration of the County's commitment to avoiding direct competition with the Village for serviced industrial lots.	To clarify location of two distinct types of lots: those which are independently services and those which may be municipally serviced in the future.
N/A	5.3 (new)	N/A	<p>5.3 Off-Site Improvements</p> <p>Development pressures within the western half of the ASP boundary may necessitate off-site improvements to the transportation network within the Village. In particular, the intersection of 48 Avenue (Township Road 503B/Mannville Road) and 45 Street may need enhancement. Necessary</p>	To confirm developer obligations with respect to offsite improvements.

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
			improvements will be determined through the preparation of a Transportation Impact Assessment at the time of subdivision or development, and all costs associated with transportation network improvements in support of proposed development will be the responsibility of the developer.	
27/28	6.1	<p>Although a municipal water distribution system within the ASP is contemplated, it would not be considered until most of the serviced industrial lots within the Village of Mannville have built out to avoid creating competition for serviced industrial land that could be detrimental to the economic well-being of the Village. It is anticipated that rural water servicing consisting of individual water wells or cisterns will be used in the interim.</p> <p>Water well servicing will require supporting groundwater/hydrogeological assessments prior to and as part of the subdivision process and will require approval and authorization from Alberta Environment and Protected Areas to use groundwater.</p>	<p>Although a municipal water distribution system within the ASP is contemplated, it would not be considered until most of the serviced industrial lots within the Village of Mannville have built out to avoid creating competition for serviced industrial land that could be detrimental to the economic well-being of the Village. It is anticipated that rural water servicing consisting of individual water wells or cisterns will be used in the interim.</p> <p>Water well servicing will require supporting groundwater/hydrogeological assessments prior to and as part of the subdivision process and will require approval and authorization from the Alberta Environment and Protected Areas to use groundwater.</p>	<p>To clarify that cisterns could be used to provide potable water supply to unserved lots</p> <p>To correct the Alberta government ministry name.</p>
28/28	6.2	The ASP lands are not serviced by a municipal wastewater system. However, services could be extended from the existing Village services from the Shadow Plan area to the west (Figure 8). Sanitary	The ASP lands are not serviced by a municipal wastewater system. However, services could be extended from the Shadow Plan area to the western lots of the ASP boundary (Figure 8). Sanitary	To clarify location of two distinct types of lots: those which are independently services and those which may be municipally serviced in the future.

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
		sewage for the Village is treated at the Village lagoon. The treated effluent is discharged into the Vermilion River.	sewage for the Village is treated at the Village lagoon.	
28/28	6.2.1	However, with the lagoon over capacity already, as discussed above, and the possible need for one or more lift stations to support sanitary servicing in the ASP boundary, a municipal wastewater system service ASP lands could be cost prohibitive. If this proved to be the case, then the proposed lots adjacent to the Village's west boundary as shown in Figure 8 may not be large enough to support independent servicing, such as septic tanks and treatment fields/mounds, and may instead need to be serviced with holding tanks in order to meet provincial setback requirements.	However, with the possible capacity challenges of the Village's lagoon storage cells discussed above, and the possible need for one or more lift stations to support sanitary servicing in the ASP boundary, a municipal wastewater system to service the ASP lands could be cost-prohibitive. If this proved to be the case, then the smaller lots shown in Figure 8 in the western half of the ASP may not be large enough to support independent servicing, such as septic tanks and treatment fields/mounds, and would instead be required to be serviced with holding tanks in order to meet provincial setback requirements.	<p>To respond to review comments from Village of Mannville.</p> <p>To clarify location of two distinct types of lots: those which are independently serviced and those which may be municipally serviced in the future.</p> <p>To confirm the requirements for private sanitary sewage disposal on smaller lots in the absence of municipal servicing.</p>
29/29	6.2.2	<p>To inform consideration of urban service provision to the smaller industrial lots within the ASP boundary BAR Engineering (BAR) was retained to update its 2009 capacity analysis of the Village's lagoon. A summary is provided below, and the detailed analysis can be found in Appendix C.</p> <p>The amount of wastewater generated is calculated as a percentage of</p>	<p>To inform consideration of urban service provision to the smaller industrial lots within the western half of ASP boundary, BAR Engineering (BAR) was retained to update its 2009 capacity analysis of the Village's lagoon. A summary is provided below, and the detailed analysis can be found in Appendix C.</p> <p>In summary, the 2023 report confirms the 2009 report findings, and identifies that providing servicing for development</p>	<p>To clarify location of two distinct types of lots: those which are independently serviced and those which may be municipally serviced in the future.</p> <p>To respond to review comments from Village of Mannville.</p>

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
		<p>the average annual volume of water consumed. In BAR’s 2023 analysis, two wastewater generation scenarios were prepared: one at 100% of consumption, which aligns with the 2009 report assumptions; and, a second at 80% of consumption. The 2023 lagoon analysis assumed 440 L/person/day water consumption, including provision for 10% infiltration of ground water into the sanitary pipe network (the same assumption as in the 2009 assessment).</p> <p>Each scenario was further considered with and without additional servicing requirements within the ASP boundary. Additionally, the analysis also assumed population growth at both 1% and 1.5% per annum.</p> <p>6.2.2.1 Scenario 1 Under scenario 1 assumptions, without providing additional industrial servicing in the ASP, the Village’s lagoon requires an additional 31,310m³ of facultative cell expansion and 190,530m³ of storage cell expansion, at an estimated (2023) cost of \$2.71M. It should be noted that these improvements are in line with the recommendations from the 2009 report.</p>	<p>outside of the Village’s boundary will require lagoon capacity upgrades. While a lagoon upgrade is contemplated by the Village in the future, the timing of such a project would be subject to the Village’s capital budgeting prioritization process.</p>	

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
		<p>Under scenario 1 assumptions with servicing to the 10.5 ha of industrial land within the ASP, the Village’s lagoon requires an additional 51,425m³ of facultative cell expansion and 334,216m³ of storage cell expansion, at an estimated (2023) cost of \$5.18M. This represents approximately a 91% increase cost to accommodate industrial servicing within the ASP boundary.</p> <p>6.2.2.2 Scenario 2</p> <p>Under scenario 2 assumptions without providing additional industrial servicing in the ASP, the Village’s lagoon requires an additional 24,140m³ of facultative cell expansion and 163,170m³ of storage cell expansion, at an estimated (2023) cost of \$2.29M. It should be noted that these improvements are less than those recommended in the 2009 report because the assumed sanitary sewage generation rate is 20% less than that of the 2009 report.</p> <p>Under scenario 2 assumptions with servicing to the 10.5 ha of industrial land within the ASP, the Village’s lagoon requires an additional 44,920m³ of facultative cell expansion and 290,520m³ of storage cell expansion, at an estimated (2023) cost of \$4.5M. This represents</p>		

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
		approximately a 96% increase in costs to accommodate industrial servicing within the ASP boundary.		
33/31	6.3	Additionally, the developer will require a roadside development permit from Alberta Transportation for construction of all stormwater management ponds and infrastructure within 800m of the centerline of Highway 16 prior to development.	The minimum setback required by Alberta Transportation for stormwater management ponds is 40m from the edge of the road right-of-way. This setback distance may be reduced by Alberta Transportation to 30 m if the pond is protected by a berm and/or fence and/or guard rail. The current dugout/stormwater pond has a setback distance of 30 m. Any new stormwater management facilities should be installed no closer to Highway 16 than the current dugout/stormwater pond. Additionally, the developer will require a roadside development permit from Alberta Transportation for construction of all stormwater management ponds and infrastructure within 800m of the centerline of Highway 16 prior to development.	To address review comments from Alberta Transportation.
33/31	6.4	Shallow utilities will be brought into sites as needed by the developers, and rights-of-way will be established at the time of subdivision as needed.	Shallow utilities will be brought into sites as needed by the developers, and rights-of-way will be established at the time of subdivision as needed. Specifically, ATCO Gas requires that a suitable alignment be provided within the boulevards of all arterial and major roads for the ATCO Gas feeder mains.	To address review comments from ATCO Gas.

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
39 (PH)	9.1	N/A	Added: Development Control Policy 1 The developer shall be required to seek a Roadside Development Permit from Alberta Transportation for all development proposals.	To address review comments from Alberta Transportation.
43/41	9.5	Sequence of Development Policy 17 The County should ensure the development of the smaller, potentially serviced lots within the western half of the ASP boundary occurs after the Village of Manville's supply of existing industrial land within the Shadow Plan area is mostly built out.	Sequence of Development Policy 18 The County should ensure the development of the smaller, potentially serviced lots within the western half of the ASP boundary occurs after the Village of Manville's supply of existing industrial land within the Shadow Plan area is mostly built out.	To clarify location of two distinct types of lots: those which are independently serviced and those which may be municipally serviced in the future.
42 (PH)	9.7	N/A	Added: Roads & Access Policy 29 The County shall ensure that a suitable alignment is provided within the boulevards of all arterial and major roads for the ATCO Gas feeder mains.	To address review comments from ATCO Gas.
43 (PH)	9.7	N/A	Added: Traffic Impact Assessment Policy 31 The developer shall undertake a Traffic Impact Assessment to determine if the at-grade intersection of Hwy 16 & RR 85 will need improvements to make sure that the intersection will be able to safely accommodate the traffic generated by the development.	To address review comments from Alberta Transportation.
43 (PH)	9.7	N/A	Added: On- and Off-Site Improvements	To respond to review comments from Village of Mannville.

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
			Policy 33 The developer shall be responsible for all costs associated with transportation network improvements in support proposed development as identified in an approved Traffic Impact Assessment.	
44 (PH)	9.8	N/A	Added: General Policy 37 The County shall require that the smaller lots adjacent to the Village's eastern boundary, as depicted conceptually in Figure 5, be serviced by municipal services if those services are available at the time of development. All costs associated with connecting to municipal services shall be borne by the developer.	
46/44	9.8	Services Policy 34 Water well servicing will require supporting groundwater/hydrogeological assessments prior to and as part of the subdivision process and will require approval and authorization from Alberta Environment and Protected Areas to use groundwater.	Services Policy 38 Water well servicing will require supporting groundwater/hydrogeological assessments prior to and as part of the subdivision process and will require approval and authorization from Alberta Environment and Protected Areas to use groundwater.	To correct the Alberta government ministry name.
46/44	9.8	Services Policy 36 The County may require sanitary sewer holding tanks on smaller lots to ensure provincial setback requirements are met.	Services Policy 40 The County shall require sanitary sewer holding tanks on lots 2.02ha in area or smaller to ensure provincial setback requirements are met.	To clarify lot size for requiring holding tanks.
44 (PH)	9.8	N/A	Added: Stormwater Management	To respond to review comment from Alberta Transportation.

Page OG/PH	Section	First Reading Version	Public Hearing Version	Reason for Change
			Policy 43 The County shall require that stormwater management ponds have a setback of a minimum of 40m from the edge of the Highway 16 right-of-way unless otherwise approved by Alberta Transportation.	
46 (PH)	9.10	N/A	Added: Implementation Policy 54 In accordance with the Village of Mannville-County of Minburn Intermunicipal Development Plan, the County shall refer applications for amendment of this ASP to the Village for review and comment.	To address review comment from Village of Mannville.

COUNTY OF MINBURN NO. 27

BYLAW 1342-23

A BYLAW OF THE COUNTY OF MINBURN NO. 27, IN THE PROVINCE OF ALBERTA TO ADOPT THE EAST INDUSTRIAL PARK AREA STRUCTURE PLAN.

WHEREAS, Council of the County of Minburn No. 27 deems it necessary to adopt, in accordance with Sections 633 and 636 of the Municipal Government Act, the East Industrial Park Area Structure Plan, being Bylaw No. 1342-23, to specify policy and regulatory direction for the lands located per the attached Schedule "A".

AND WHEREAS, Council of the County of Minburn No. 27 deems it advisable to adopt the East Industrial Park Area Structure Plan in accordance with Schedule "A" attached and forming part of Bylaw No. 1342-23, to refine and further specify the general policy direction applicable to this area in the Village of Mannville/County of Minburn No. 27 Intermunicipal Development Plan, being County of Minburn No. 27 Bylaw No. 1240-15, as amended;

AND WHEREAS, notice of a public hearing for this Bylaw held on July 17, 2023 has been given in accordance with Sections 606 and 692 of the *Municipal Government Act*, 2000 RSA, ch. M-26, as amended;

NOW THEREFORE, Council of the County of Minburn No. 27, in the Province of Alberta, duly assembled enacts as follows:

1. That Bylaw No. 1342-23, being the East Industrial Park Area Structure Plan, attached hereto and forming part of this Bylaw, be adopted.
2. That this Bylaw be cited as the East Industrial Park Area Structure Plan.
3. That this Bylaw becomes effective upon the date of the final passing thereof.

SEVERABILITY

If any Section or parts of this bylaw are found in any court of law to be illegal or beyond the power of Council to enact, such Section or parts shall be deemed to be severable and all other Sections or parts of this Bylaw shall be deemed to be separate and independent there from and to be enacted as such.

FIRST READINGJune 19, 2023

PUBLIC HEARING held on the 17th day of July, 2023

SECOND READING.....July 17, 2023

THIRD READINGJuly 17, 2023

Reeve

Chief Administrative Officer

East Industrial Park Area Structure Plan



Village of
Mannville



**East Industrial Park
Area Structure Plan**

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Appendices

A	Appendix A Biophysical Report
B	Appendix B Geotechnical Report
C	Appendix C Lagoon Assessment
D	Appendix D Transportation Review
E	Appendix E Servicing Brief
F	Appendix F Stormwater Management Plan
G	Appendix G Certificates of Title (redacted)

Prepared by:
Red Willow Planning

All photos:
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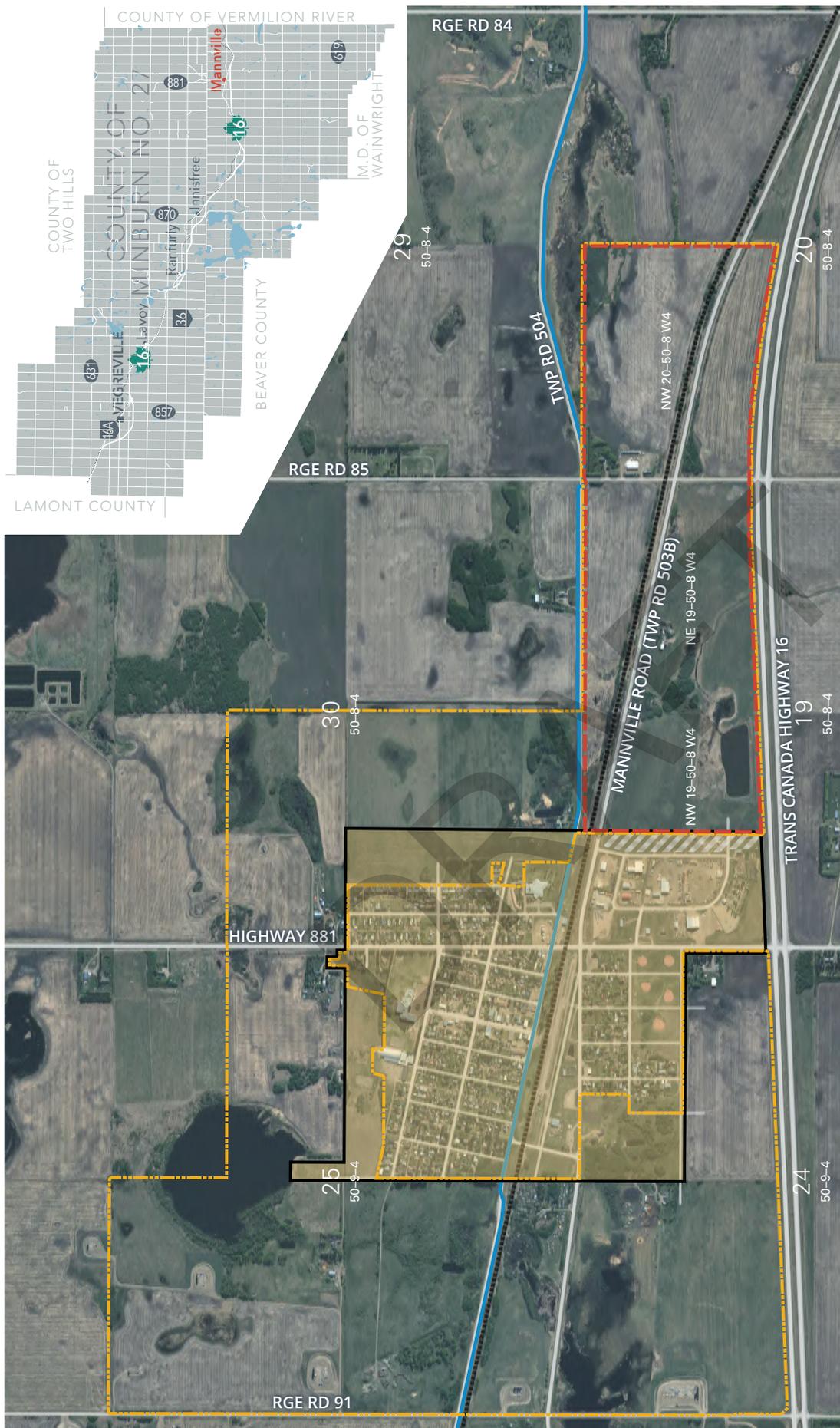
1.0 Location, Background & Purpose

1.1 Location

The East Industrial Park Area Structure Plan (ASP) study area is located immediately east of the Village of Mannville in the County of Minburn, Alberta, Canada comprising seven parcels:

1. NW 20-50-8-4
2. North half 19-50-8-4 (north of the CN Railway)
3. NW 19-50-8-4 (south of the CN Railway)
4. NE 19-50-8-4 (south of the CN Railway)
5. Lot 1, Block 1, Plan 062 6818
6. Lot 1, Block 1, Plan 212 2252
7. Block A, Plan 852 0860 (Shadow Plan lands in the Village of Mannville)

The ASP location is also adjacent to the Yellowhead, Highway 16. See **Figure 1** for location and context map.



LEGEND

- IDP Boundary
- Plan Boundary
- Shadow Plan Area
- Village of Mannville
- Canadian National Railway
- ACE Regional Waterline

FIGURE 1
LOCATION &
PLAN BOUNDARY



1.2 IDP Background & Shadow Plan Area

Section 6.6 of the *Village of Mannville – County of Minburn Intermunicipal Development Plan* (IDP) speaks to the preparation of joint area structure plans in the locations shown in the IDP's Figure 7 Future Land Use & Joint Planning Areas. There are two areas identified, one to the west of the Village and the other to the east. The east area is addressed by this ASP.

Additionally, the County and the Village discussed their mutual interest in coordinating development of a strip of undeveloped land within the Village's existing industrial park immediately west of the ASP boundary. Consequently, a 'Shadow Plan' area was established for discussion purposes only (**Figure 1**), and no policies in this ASP are applied to the Shadow Plan area.

1.3 Regional Economic Development

The mutual interest described above relates to the desire to jointly promote the area for non-residential development to investors. Coordination of development, and servicing if the parties jointly agree, will support regional economic development.

That being said, the parties wish to avoid competition with each other. The County supports the Village's desire to develop its existing supply of serviceable non-residential land in the Shadow Plan area prior to the County developing similarly sized and serviced lots within the ASP boundary. The sequence of development, discussed in more detail in section 4.6 below, demonstrates this support.



2.0 Legislative Context

2.1 Municipal Government Act

The *Municipal Government Act* (MGA) in s. 633 states the purpose of an Area Structure Plan (ASP) is to provide a framework for future subsequent subdivision and development of an area of land. Further, the MGA directs that an ASP:

1. Must describe
 - a. The sequence of development proposed for an area,
 - b. The land uses proposed for an area either generally or specifically,
 - c. The density of population proposed for the area,
 - d. The general location of major transportation routes and public utilities, and
2. May contain any other matters, including matters relating to reserves, as the council considers necessary.

2.2 Provincial Land Use Policies

Section 618.4(1) of the MGA requires that every statutory plan be consistent with the Provincial Land Use Policies established by Order in Council 522/96. This ASP has been prepared in consideration of the Provincial Land Use Policies.

2.3 Intermunicipal Development Plan

The IDP requires that the joint ASPs are prepared by a Registered Professional Planner, are consistent with the requirements of the MGA and pursuant to the General Terms of Reference for the Preparation of a Conceptual Scheme or Area Structure Plan, found in Appendix B of the IDP. This ASP complies with all three of these requirements.

2.4 Municipal Development Plan

The *Municipal Development Plan* (MDP) identifies specific initiatives in Section 1.5, including the preparation of joint planning initiatives within existing intermunicipal development plans, including that between the Village of Mannville and the County of Minburn.

Section 3.4 provides objectives and policies for commercial and industrial lands. Key policies that influence and are upheld by this ASP include:

- 3.4.3 The County shall use the following site criteria in determining rural industrial site suitability for the intended use:
- a. has stable, well drained soils;
 - b. has (or will have) safe and convenient access to public roads built to County standards;
 - c. located where rail access exists or could be provided if required;
 - d. has necessary services and utilities available if required;

- e. has suitable local climate conditions, especially for noxious industries;
- f. has an appropriate buffer from land designated for AR-Acreage Residential District when considering a subdivision or development application for rural industry;
- g. is suitably located in relation to waterbodies; and
- h. is not located within significant scenic, recreational or open space areas

3.4.6 The County shall encourage the creation of industrial parks in order to provide industrial development opportunities in a manner that concentrates industrial development, rather than scatters it, minimizes conflicts with adjacent land uses and facilitates the economic provision of services (including roads). The County shall encourage new industrial developments to locate in one of the following industrial parks and locations:

- a. East Industrial Park;
- b. West Industrial Park;
- c. Crossroads Industrial Park;
- d. Within existing hamlets in accordance with the existing ASPs; and
- e. Within intermunicipal fringe areas in accordance with the IDPs.

3.4.16 The County may allow convenience retail services to locate in industrial parks, acreage residential developments or manufactured home communities where adequate services do not exist nearby. The size of commercial outlets shall be relative to the immediate population being served.

3.4.17 The County may allow commercial activities in industrial parks where the development is ancillary to the industrial use on that parcel.

3.4.26 The County shall ensure highway commercial uses maintain the functional integrity of adjacent highways through the use of service road systems or controlled highway access points that are approved by Alberta Transportation, or the County Operations Department.

3.0 Existing Features

3.1 Natural Environment

X-Terra Environmental Services Ltd. was retained to undertake a desktop biophysical assessment of the ASP lands. The following sections present the findings from X-Terra's report, found in its entirety in **Appendix A**. Additionally, SolidEarth Geotechnical Inc. prepared a report (**Appendix B**) detailing the soils suitability for development. The findings of that report are summarized in subsection 3.1.1 below.

3.1.1 Soils & Topography

The ASP lands are within the Aspen Parkland Ecoregion and exhibit nearly level to gently rolling topography with slopes between 0.5% to 2% and low risk for erosion potential. The soils in this area consist of Orthic Black Chernozem on moderately coarse textured sediments deposited by wind or water.

SolidEarth Geotechnical undertook a field assessment in March 2023 to assess the subsurface soil and groundwater conditions at selected locations across the proposed development area (see bore hole locations on [Figure 5](#)). A drilling rig bore six holes to depths ranging from 5.8m to 7.3m below existing ground surface. The analysis concluded that soil conditions at the borehole locations are considered suitable for the proposed development, and that site grading, installation of underground utilities, construction of stormwater management ponds and pavement structures would all be feasible. Based on subsurface conditions, deep pile foundations are considered the most suitable for future structures.



An aerial photograph showing a wetland area. A gravel drainage ditch runs diagonally from the top left towards the bottom right. To the right of the ditch is a paved road. The surrounding area is a mix of green grass and brown, dry-looking vegetation. The text is overlaid on a semi-transparent white box in the upper right portion of the image.

3.1.2 Wetlands

A desktop analysis of historic aerial photographs between the years 1980 and 2021 was used to identify potential wetland areas. In total, eight graminoid marsh wetlands and one ephemeral wetland were identified, totaling 20.98 ha (see **Figure 2**) within the ASP boundary. Wetlands W2 and W9 extend beyond the ASP boundary, but only those portions of the wetlands within the ASP boundary are included in the total wetland area, and in Table 1 below. Future in-field surveys may find more wetlands than identified by the biophysical desktop analysis. Moreover, wetland W1 is partially formed by a human-made borrow pit.

There are also two main drainage ditches/channels, assumed to have been created to assist with local drainage. It is unknown if Alberta Water Act approval or license was obtained for any of the human-made wetlands/watercourse features.

Any wetlands impacted by future development will require Alberta Water Act approval. Wetlands are assigned values from A to D, with D being the lowest. In terms of wetland impact mitigation and compensation, preference is to avoid impacting wetlands; however, that may not always be practical. It appears the wetlands likely to be impacted by future development are of the lowest value, D class. It is recommended that an Alberta Wetland Rapid Evaluation Tool assessment take place prior to development to determine the exact class of wetland and appropriate mitigation measures for wetland impact, including development setbacks.¹

Wetland impact compensation rate for this area of Alberta is \$18,600/ha in 2022, and is subject to change. The compensation values for impacting the nine identified wetlands are summarized below in **Table 1** and will need to be confirmed based on future field verified wetland assessments. Future Water Act applications for direct impacts to wetlands within the ASP boundary will need to include planning, best management practices, and mitigation measures to avoid and minimize impact in order to protect those areas of wetland outside of ASP lands.

¹ Although the desktop analysis report does not make recommendations on development setbacks around wetlands, common practice is to employ 30-50m setbacks. This ASP assumes a 30m setback in the FLUC.

Furthermore, current values should be obtained by the developer as necessary. Wetland Compensation Summary, sourced from Table 2 in the biophysical assessment found in **Appendix A** of this ASP.

TABLE 1 — Wetland Compensation Summary

Wetland ID	Estimated Wetland Value*	AWCS Classification	Approx. Wetland Area within ASP (ha)	Total In-Lieu Replacement Cost**
W1	D	Temporary Graminoid Marsh — M[G][II] with man-made component	6.3	\$117,180.00
W2	D	Seasonal Graminoid Marsh — M[G][III]	6.2	\$115,320.00
W3	D	Temporary Graminoid Marsh — M[G][II]	0.6	\$11,160.00
W4	D	Ephemeral Wetland — M[G][I]	0.03	\$558.00
W5	D	Temporary Graminoid Marsh — M[G][II]	0.6	\$11,160.00
W6	D	Temporary Graminoid Marsh — M[G][II]	0.6	\$11,160.00
W7	D	Temporary Graminoid Marsh — M[G][II]	0.5	\$9,300.00
W8	D	Seasonal Graminoid Marsh — M[G][III]	0.05	\$930.00
W9	D	Seasonal Graminoid Marsh — M[G][III]	6.1	\$113,460.00
			20.98	\$390,228.00

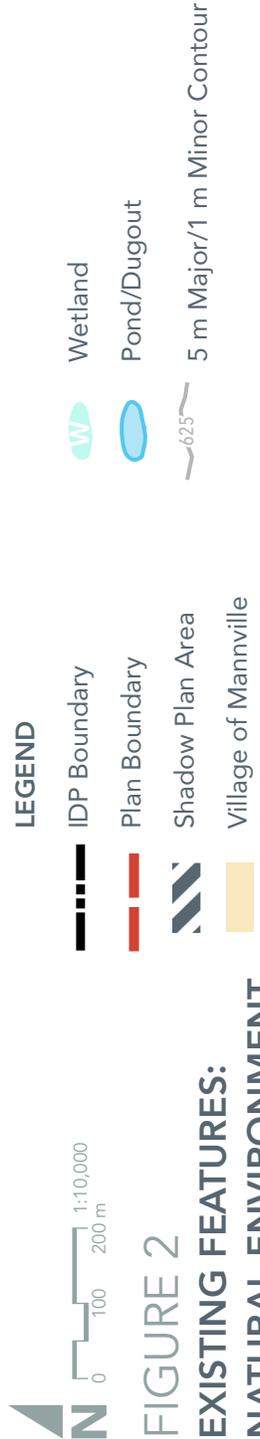
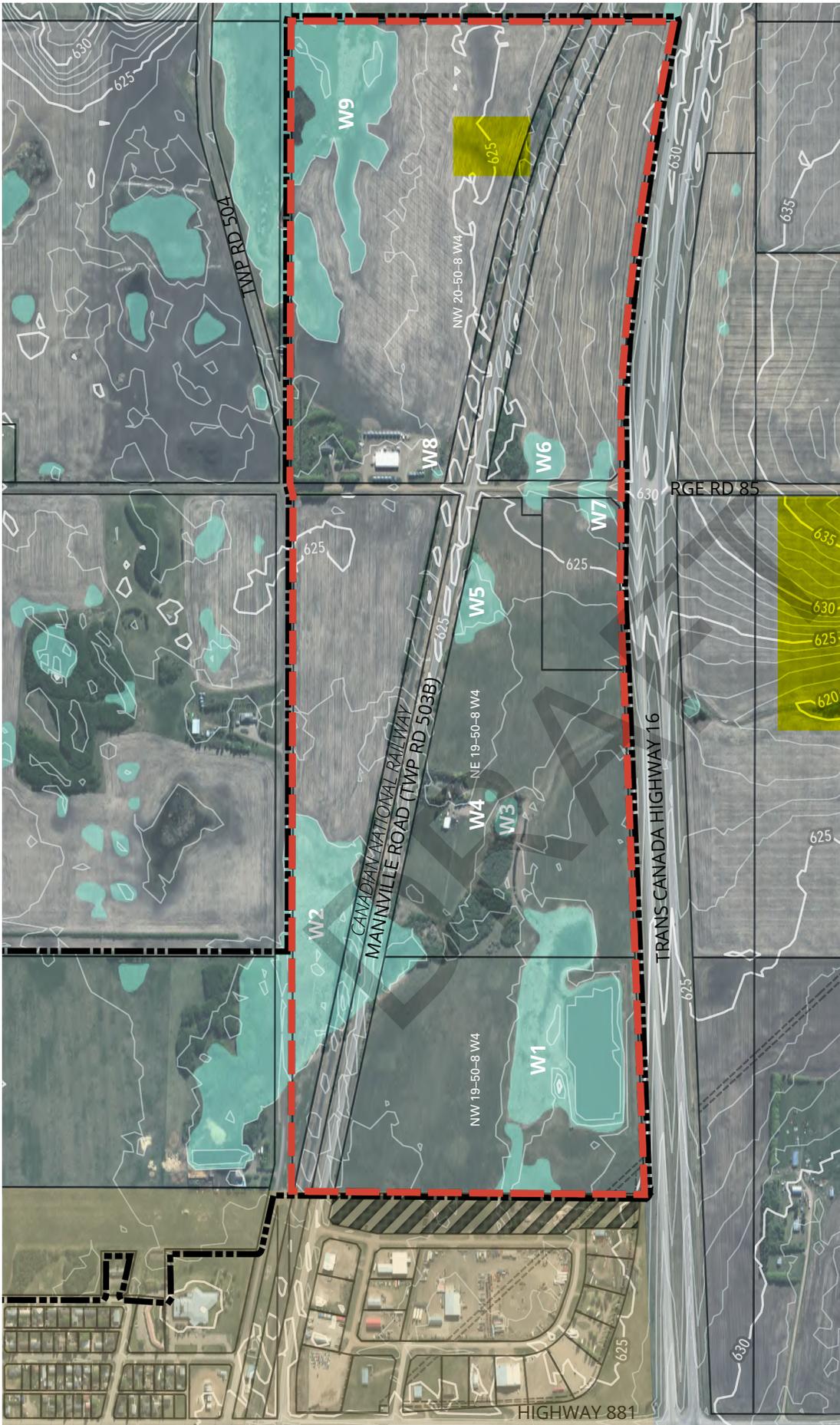
*Assumptions within table are based on historic values assigned to similar wetlands within the region. The wetlands have been delineated wetlands as per ABWRET-D directive but have not been submitted for and ABWRET Score.

**Based on desktop wetland delineations, a summary of the approximate wetland replacement for ASP lands. The values were calculated based on a replacement ratio of 1:1, relative wetland value assessment unit of 7, and an in-lieu rate of \$18,600.00.

3.1.3 Vegetation

The growing season in this area is between 174 and 187 days on average. The area is primarily cultivated for agricultural purposes. There were no rare plants found during a database search although field surveys prior to development should be undertaken.

Soil disturbance during the construction of new development could attract invasive weed species and measures should be taken during construction phases to control noxious weeds.



3.1.4 Wildlife

A database search revealed that no sensitive wildlife species were found within a 3km radius of the centre of the ASP area. The ASP lands are within the range of Sharptailed Grouse and Bald Eagle, however, there is potential for other sensitive species to occur in the area. Wildlife and nest sweeps should be undertaken within 7 days of the onset of development, including vegetation clearing between April 1 and August 15.

3.2 Built Environment

3.2.1 Existing Residences

There are two existing residences within the ASP boundary, each with outbuildings and structures. See **Figure 3** Existing Features: Built Environment. One residence is located north of the railway east of Range Road 85 on NW 20-50-8-W4, and the other is located south of the railway and west of Range Road 85 on NE 19-50-8-W4.

The Future Land Use Concept (**Figure 5**) identifies Agricultural land on which two residences exist. Over time, should landownership and development plans change, the land on which the residences are located could be identified for rural industrial development through an amendment to this ASP to change the designation from Agricultural to Industrial/Commercial.

3.2.2 Roads & Rails

The ASP is serviced by Township Road 503B, locally known as Mannville Road, Township Road 504, and Range Road 85.

Township Road 503B is a two-lane paved rural collector road with a posted speed limit of 80 km/hr. Range Road 85 is a two-lane gravel collector road with a posted speed limit of 80 km/hr. Township Road 504 is a two-lane rural collector road with a graveled surface. The posted speed limit is 80 km/hr.

The Canadian National Railway (CN Railway) line passes diagonally from southeast to northwest through the plan area adjacent to Township Road 503A and has an uncontrolled, at-grade crossing at Range Road 85.

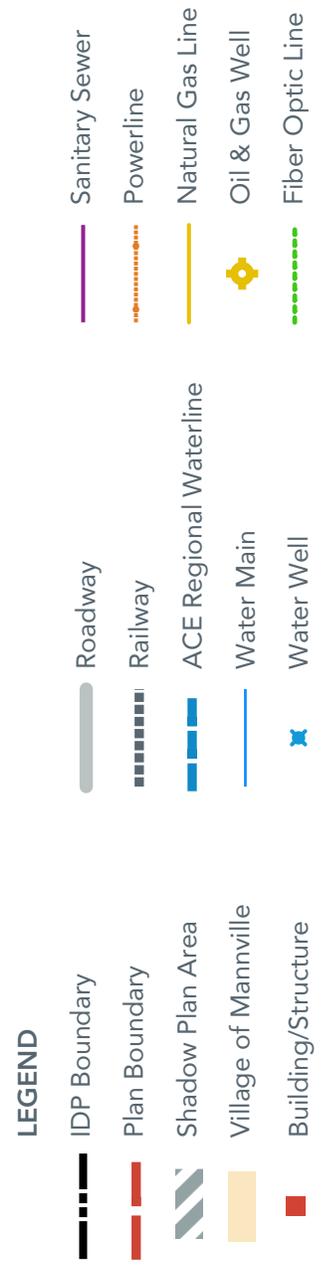
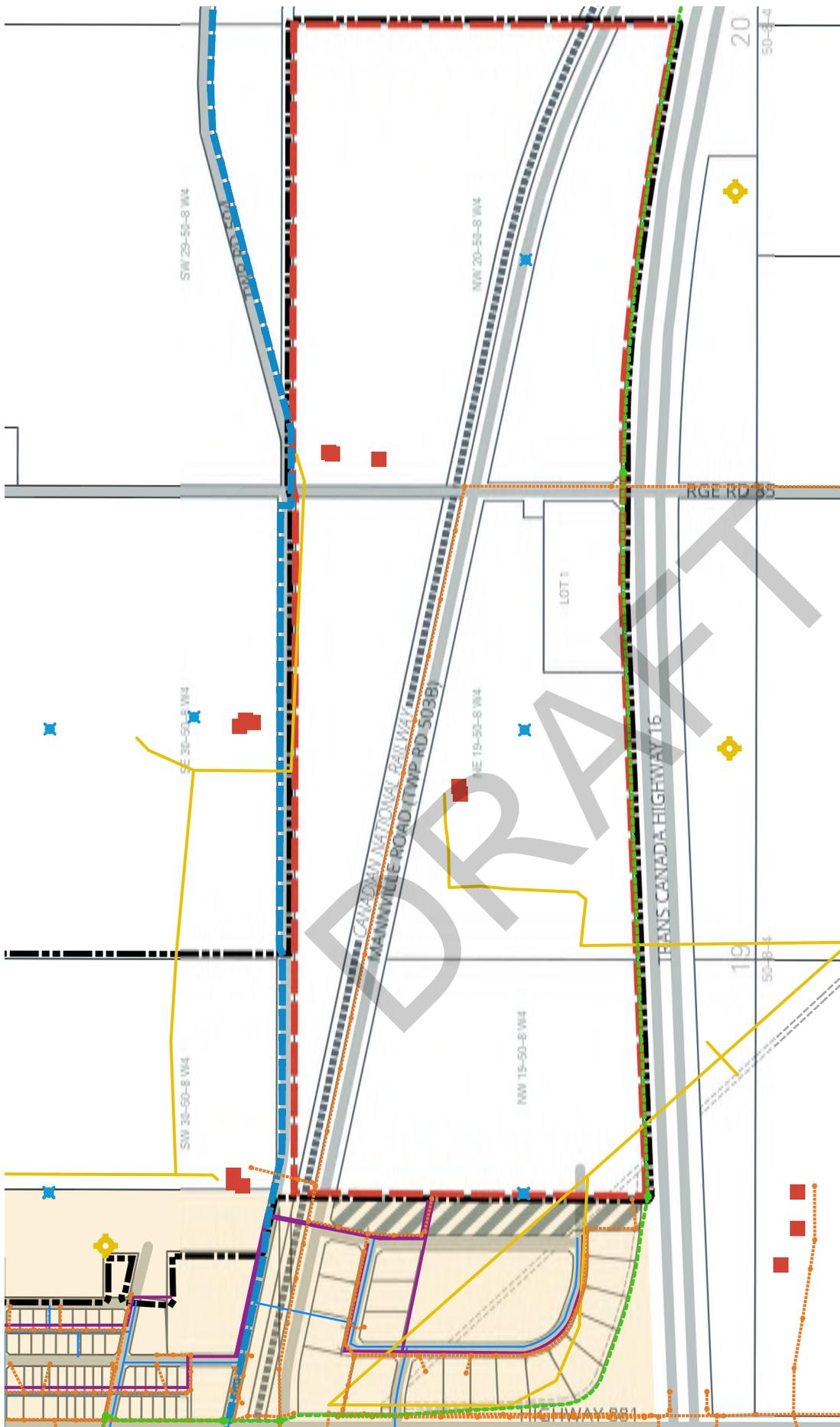


FIGURE 3
EXISTING FEATURES:
BUILT ENVIRONMENT

3.2.3 Utility & Communications Infrastructure

3.2.3.1 Potable Water

The ACE Regional Waterline runs along the Township Road 504 right-of-way and partially along the north boundary of the ASP. The feasibility of connecting to this waterline needs to be determined by the developer.

3.2.3.2 Village of Mannville Lagoon

The Village of Mannville's sewage lagoon is permitted to discharge treated effluent from the lagoon's storage cells into the Vermilion River once per year during a three-week period between March 1st and November 30th (BAR Engineering, 2009).

In response to the Village experiencing difficulty being able to retain the volume of treated effluent within its storage cells to allow for the annual discharge at the same time every year, BAR Engineering was retained in 2009 to undertake an analysis of the lagoon capacity (BAR Engineering, 2009).

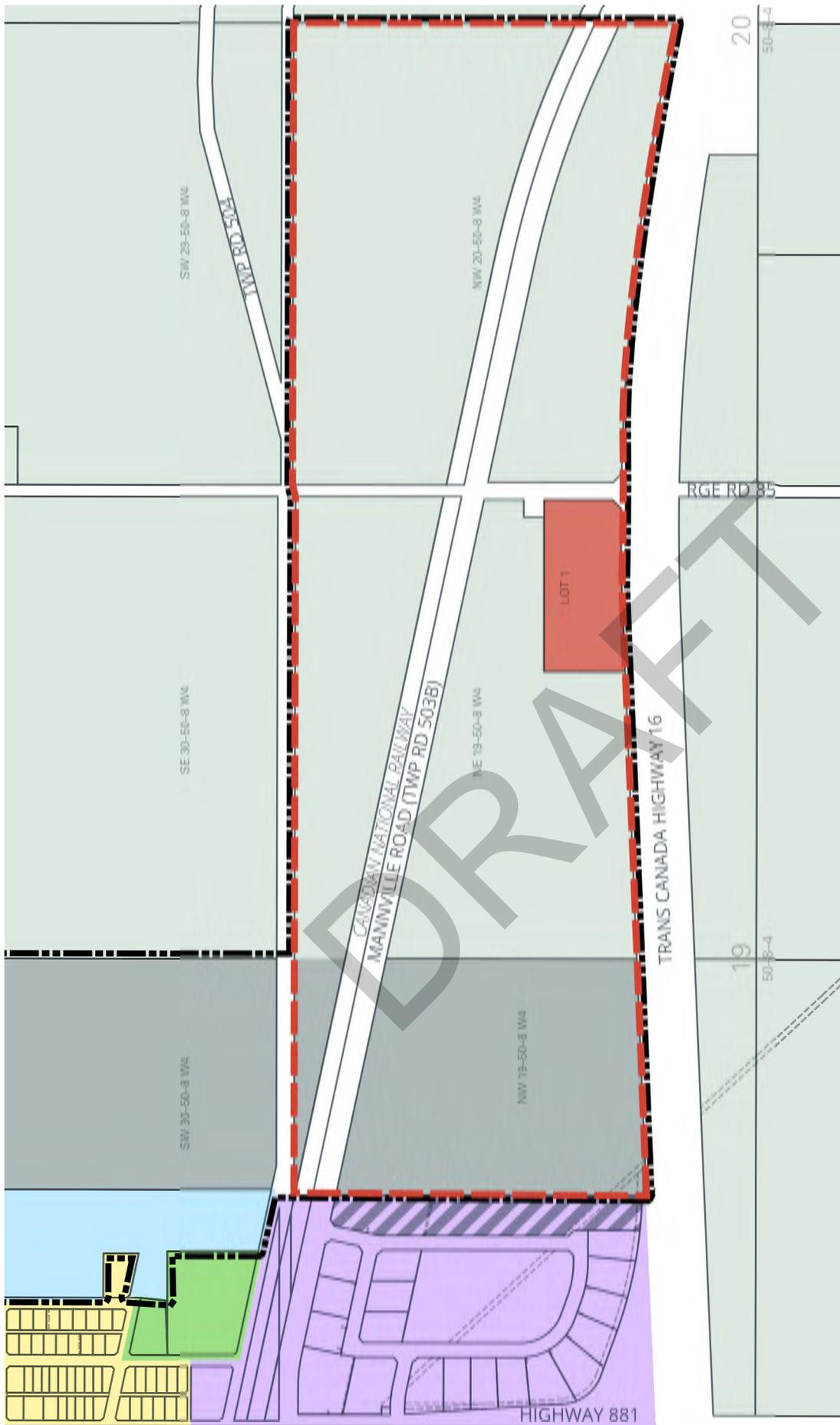
The 2009 analysis concluded that existing anaerobic cells of the lagoon are adequately sized to meet the current and future needs of the Village. However, the storage cells of the lagoon could be challenged to provide adequate storage capacity to accommodate any population growth or unanticipated additional flows caused by inflow and infiltration during a wet, rainy year or major storm event (BAR Engineering, 2009). These circumstances could require a premature discharge of the effluent from the storage cells to avoid the storage berms from being over-topped (BAR Engineering, 2009).

3.2.3.3 Power

A power line runs along the Range Road 85 right-of-way from south of Highway 16 and veers west along Township Road 503A into the Village of Mannville. It branches south to service the lands adjacent to the Shadow Plan area within the Village of Mannville.

3.2.3.4 Communications

The MCSNet fiber optic line runs along the north side of Highway 16 and enters the Village of Mannville along Highway 881. The line runs through the Village's existing industrial park just west of the ASP boundary and ties back into the Highway 16 alignment. The line can be extended into the East Mannville Industrial Park from a point just outside the very southwest corner of the plan as well as from a point at Range Road 85 where it intersects with Highway 16.



LEGEND

	IDP Boundary		Village – P1: Public Service
	Plan Boundary		Village – R1: Residential Low Density Single Dwelling
	Shadow Plan Area		Village – UH: Urban Holding
	County – A: Agricultural		Village – IB1: Industrial Business Park
	County – DC: Direct Control		
	County – RC: Rural Commercial		

**FIGURE 4
EXISTING FEATURES:
LAND USE**

Scale: 1:10,000
0 100 200 m

3.2.4 Oil & Gas Infrastructure

There are no oil and gas wells within the ASP boundary. There are natural gas pipelines servicing the two residences in the plan area. A natural gas pipeline is also located in the Shadow Plan area.

3.2.5 Existing Land Use

The land use districts applied to the land within the ASP include Agricultural District, Direct Control District, and Rural Commercial District as shown on **Figure 4**. The majority of the land is districted (or zoned) Agricultural. Approximately 32 ha are districted Direct Control and a single 4 ha parcel was previously redistricted from Agricultural to Rural Commercial in anticipation of a development that did not occur.

Lands within the Shadow Plan area in the Village are districted Industrial Business Park.

3.2.6 Cultural and Historical Resources

A search of the Alberta Listing of Historic Resources July 2022 did not identify any historic resources value and therefore a Historical Resources Act clearance will not be required to support future development.



4.0 Future Land Use Concept

The Future Land Use Concept, depicted in [Figure 5](#), proposes a rural industrial park development with hybrid servicing options, as detailed in the following sections.

4.1 Future Land Use Concept

The Future Land Use Concept (FLUC) comprises agricultural lands and land identified for future rural commercial/industrial, with independently serviced lots (**eastern half of ASP boundary**) and potentially municipally serviced lots (**western half of ASP boundary**). The road layout is simple and designed to minimize additional development costs. The subdivision layout shown is conceptual and for discussion purposes only. Changes to the subdivision concept shown will not require an amendment to the ASP.

The total ASP area is approximately 120 ha, of which approximately 47 ha is identified for future rural industrial development and 13 ha is dedicated for road rights-of-way (see **Table 2** below).

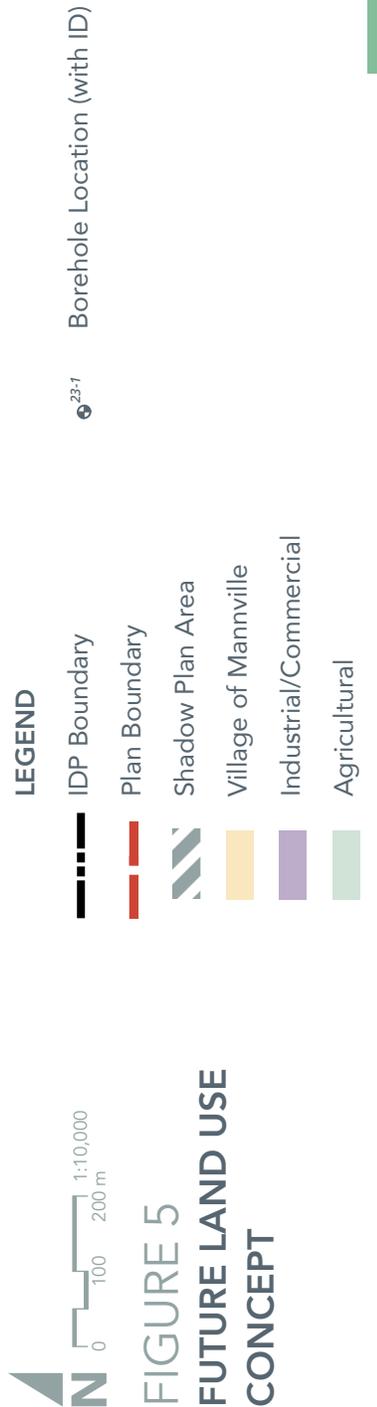
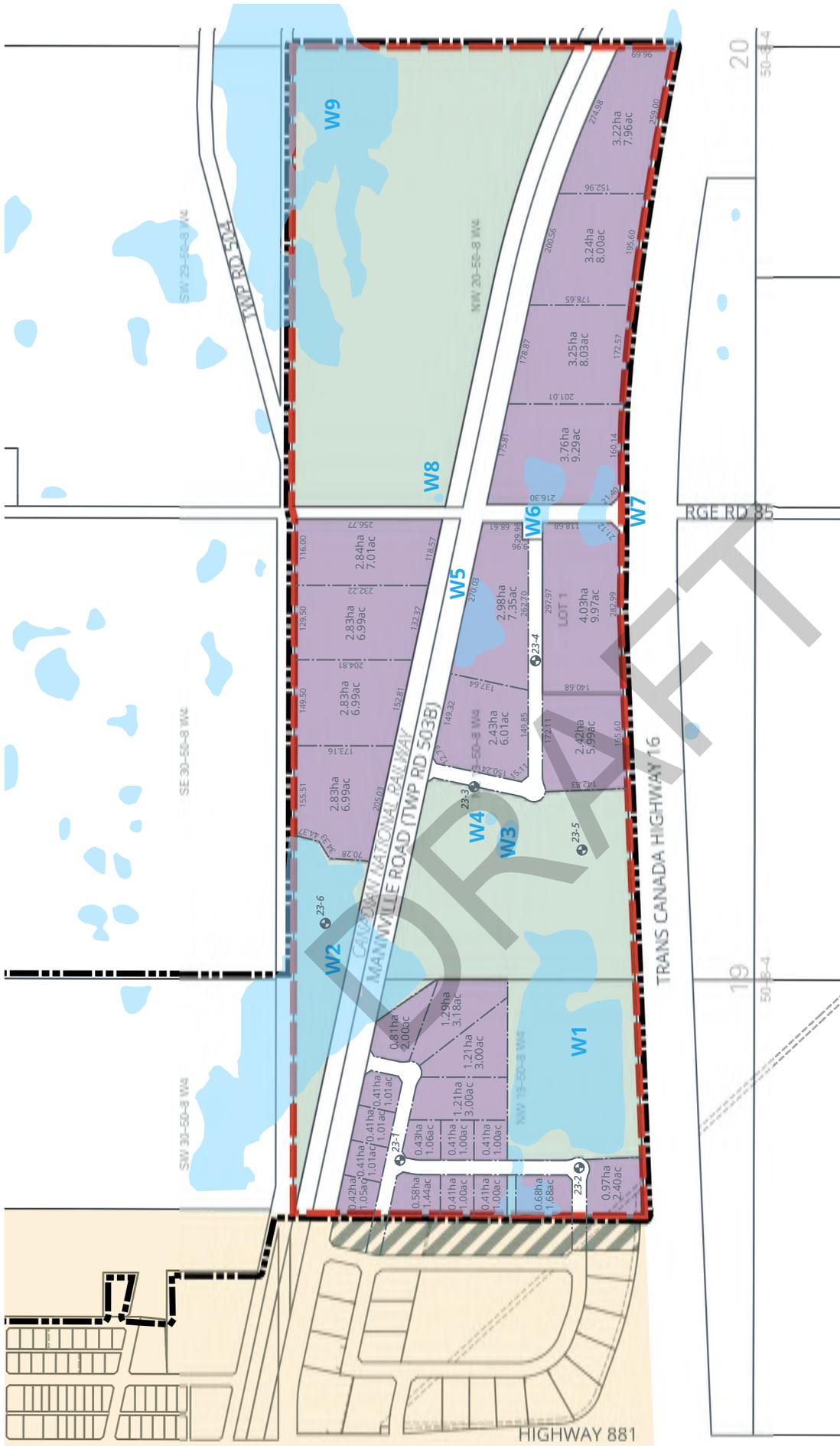
TABLE 2 — Land Use Statistics

Land Use Type	Area (ha)	Area (ac)	% Of GDA
PLAN AREA	hectares	acres	% of GDA
Gross Developable Area (GDA)	120.01	296.5	100.0%
Agricultural	53.59	132.4	44.65%
Industrial	47.13	116.5	39.27%
Road	13.04	32.2	10.87%
Rail	6.25	15.4	5.21%
SHADOW PLAN	hectares	acres	% of GDA
Gross Developable Area (GDA)	3.55	8.8	100.0%
Industrial	3.22	8.0	90.70%
Road	0.33	0.8	9.30%
TOTAL	hectares	acres	% of GDA
Gross Developable Area (GDA)	123.56	305.3	100.0%
Agricultural	53.59	132.4	43.37%
Industrial	50.35	124.4	40.75%
Road	13.37	33.0	10.82%
Rail	6.25	15.4	5.06%

The Shadow Plan area within the Village of Mannville is identified with grey hatching and comprises 3.22 ha of land. The Shadow Plan area highlights continuity of land uses and future roadway connections to meet the market needs for smaller, fully serviced industrial lots. There are two roadway connection points from the Shadow Plan area to the ASP lands, one at the north and one at the south.

Existing wetlands represent approximately 21 ha of land, and setbacks around these wetlands may be dedicated as environmental reserve or environmental reserve easement. Setbacks will need to be determined by a qualified professional prior to subdivision **based on future field verified wetland assessment.**

It is important to the Village’s economic development that its supply of existing industrial land be mostly built out before the **smaller** lots identified in **the western half** of the ASP boundary are subdivided, serviced and marketed.



Two residences exist within the ASP boundary as discussed in 3.2.1. above. The land on which these residences sit may be converted to the Industrial or Rural Commercial designations in the future, but that would require an amendment to this ASP.

4.2 Industrial/Commercial

The intent of this ASP is to support the future conversion of agricultural land within the ASP boundary designated Industrial/Commercial for either rural industrial or appropriate rural commercial uses. This could include light industrial uses that are more commercial in nature, and which could benefit from smaller parcels that have access to full municipal servicing, as well as those rural industrial uses that are a bit more intensive and require larger tracts of unserviced land. That being said, Agricultural uses can continue as they currently do in perpetuity if that is the will of the landowners.

It is expected that rural industrial types of uses on larger parcels are best suited for development within the County. Uses that require smaller, serviced lots would be directed to the Village's existing serviced industrial lots in the first instance. Access to the smaller, potentially serviced lots shown in **Figure 5** would be promoted after the Village's existing supply of small-lot serviced industrial lots are mostly developed. Should demand for smaller, serviced lots not arise within the County's ASP, the smaller lots shown in **Figure 5** could be reconfigured as larger parcels with independent servicing. A reimagining of the lot layout and servicing methods for the smaller lots within the ASP boundary could require an amendment to this ASP as the changes could impact overall stormwater management. Additional engineering analysis of the impacts of reconfiguring the smaller lots on stormwater management should accompany an amendment application.

Careful consideration of the siting and screening of future industrial development is required in consideration of the existing residential uses within the Agricultural land use district. Uses suitable for adjacency to the existing residences should not produce excessive light trespass, noise, dust, smells or other nuisance that is in excess of what one might experience living next to an agricultural operation. Such uses should be directed away from the existing residences.

Additionally, screening and fencing should be employed to reduce negative visual impact of laydown yards, outdoor storage of equipment and other uses with potential for unsightliness where proposed to be located adjacent to the existing residences or within sightlines of Highway 16.

CN Rail sets out guidelines for development in proximity to rail lines. It is expected that developers will avail themselves of these guidelines and development proposals will reflect the design parameters contained therein.

4.3 Agricultural

Agriculture is the current dominant use within the ASP boundary. This ASP upholds the right to farm for existing and legally permitted agricultural operations. Agricultural landowners can continue to use their agricultural properties in the ways they currently do in perpetuity, in compliance with the County's land use bylaw and applicable policies.

On the other hand, should the owners of the existing residences desire to sell or develop their land for industrial uses, the conversion from Agriculture designation to Industrial designation is generally supported by this ASP. However, an amendment to this ASP would be required, and may warrant further engineering analysis depending on the extend of the amendment.

4.4 Sequence of Development

The anticipated sequence of development is shown in **Figure 6**. It should be noted that the timeframe for full build out of this area is likely decades, and many factors that are unknown at this time could influence the sequence of development.

However, it is expected that the larger, unserviced lots within **eastern half of the ASP boundary** with visibility from Highway 16 will develop first. The next group of unserviced lots to develop will likely be those north of the CN Railway, west of Range Road 85. Finally, those smaller, potentially serviced lots **in the western half of the ASP boundary** adjacent to the Village's east boundary will likely develop last in consideration of the County's commitment to avoiding direct competition with the Village for serviced industrial lots.

Changes in the sequence of development may require an amendment to this ASP depending on their impact on servicing, stormwater management and other factors determined by the Development Authority.

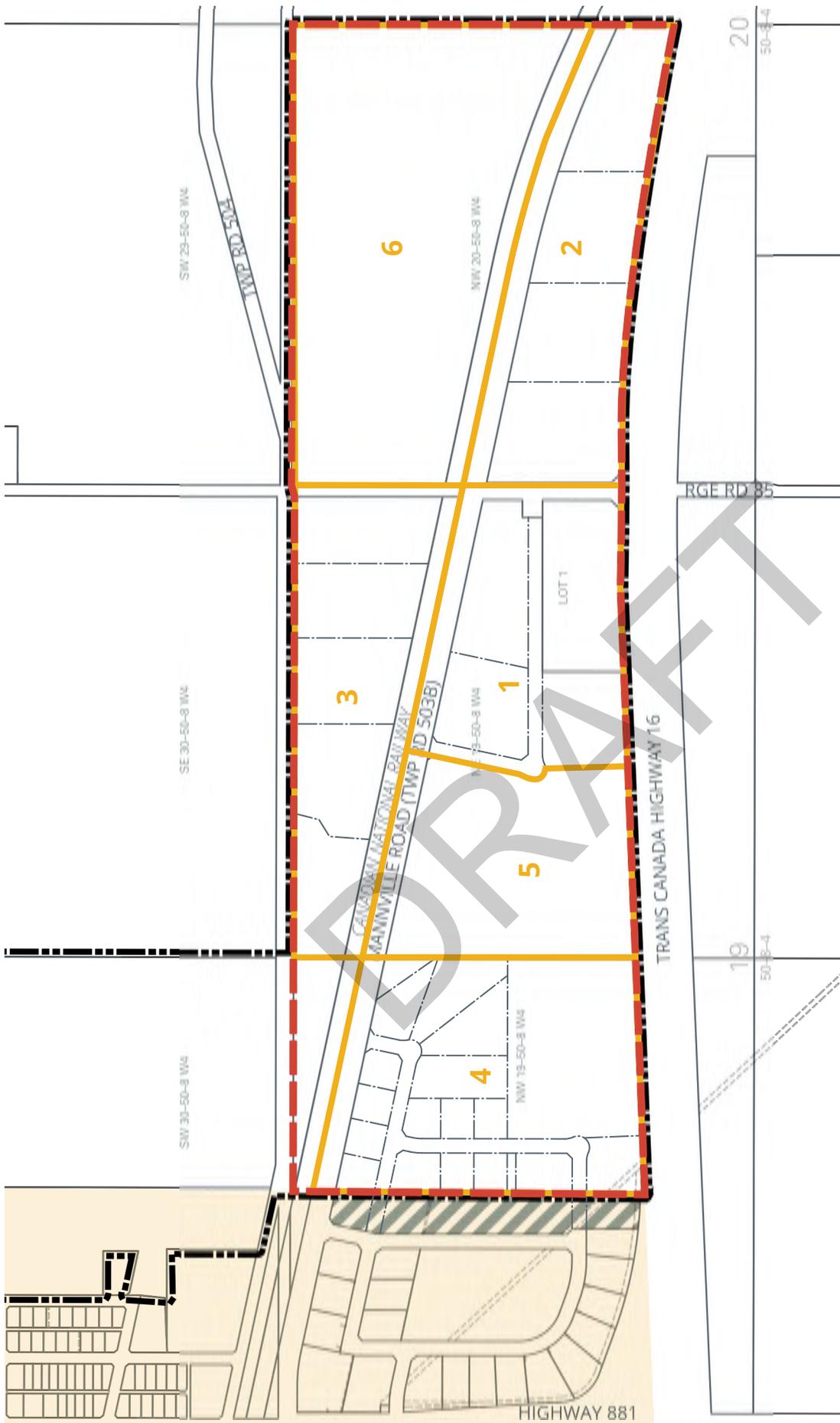
4.5 Reserve Lands

The MGA enables municipalities to obtain land through the subdivision process for reserves: municipal, school, municipal and school, and environmental. The MGA also enables certain lands to be dedicated as environmental reserve easements and conservation easements.

It is the policy of this ASP that reserve dedication be maximized pursuant to the MGA. Also, municipal reserve dedication may be provided in the form of cash in lieu of land as local park space is not the best use of reserves in this area of the county. It is recommended that the County not accept municipal reserve deferral considering the timeframe for full build-out of this land could be decades, possibly deferring provision of municipal reserve, and the broader community benefits it could provide, indefinitely.

It is expected that further in-field analysis by a qualified professional in support of future subdivision and development will determine appropriate development setbacks to retained wetlands. The setbacks around wetlands, as well as the retained wetlands themselves, can be identified as environmental reserve at the time of subdivision.

Stormwater management (SWM) ponds will not be identified as environmental reserve. Further, the land around SWM ponds that is above the high-water mark cannot be used as credit for municipal reserve dedication. Finally, SWM ponds should not be identified as public utility lots through subdivision on private land because the County should not take on responsibility of maintenance for private stormwater management ponds. Rather, the County should encourage owners to naturalize private stormwater management ponds to reduce maintenance requirements and to dissuade human access.



LEGEND

- IDP Boundary
- Plan Boundary
- Shadow Plan Area
- Village of Mannville
- Development Phasing

FIGURE 6
SEQUENCE OF DEVELOPMENT



5.0 Transportation Network

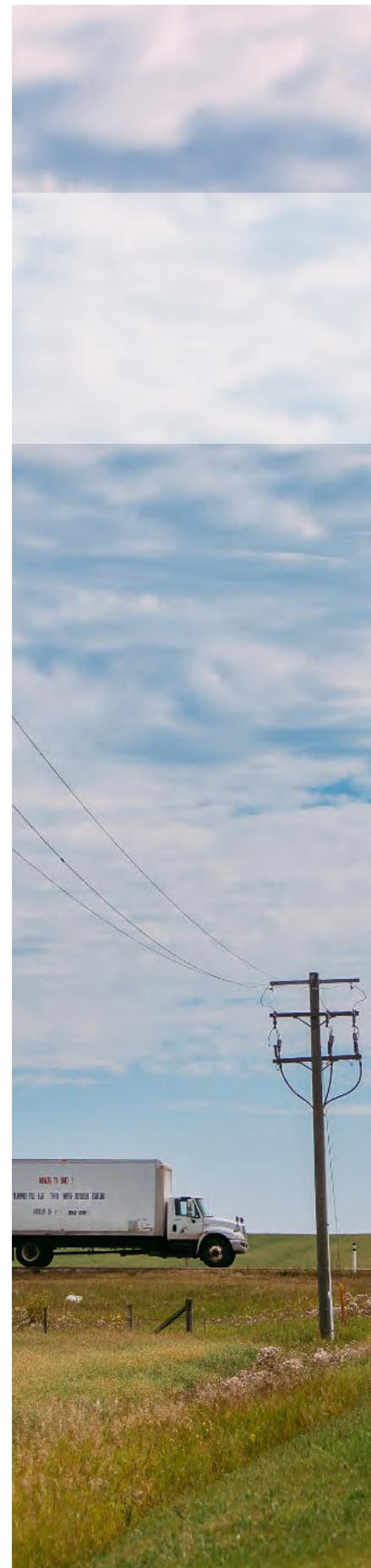
Bunt & Associates Engineering was retained to undertake a desktop transportation review (see **Appendix D**). BAR Engineering was retained to prepare a Servicing Brief (**Appendix E**). The recommendations of these two reports are presented below.

5.1 Local Roads

All proposed roadways within the ASP will be developed to a rural cross section to the County's most up-to-date required standards, with roadside ditches to provide drainage and convey stormwater runoff. In any case, roadways should be constructed to accommodate a minimum 9m finished top width to support truck traffic.

5.2 Access Management

Access management is important in maintaining acceptable levels of service and safety on roadways. It is recommended that intersection spacing on Range Road 85 is 60m, this includes spacing from the intersection of Range Road 85 and the CN Railway. In other words, from the intersection of Range Road 85 and the CN Railway in either direction, the next closest intersection should be no closer than 60m.



With the anticipated future interchange, the east-west collector roads may see greater traffic volumes and therefore intersection spacing along Mannville Road (Township Roads 503B) and 504 is recommended to be 100m.

5.3 Off-Site Improvements

Development pressures within the western half of the ASP boundary may necessitate off-site improvements to the transportation network within the Village. In particular, the intersection of 48 Avenue (Township Road 503B/Mannville Road) and 45 Street may need enhancement. Necessary improvements will be determined through the preparation of a Transportation Impact Assessment at the time of subdivision or development, and all costs associated with transportation network improvements in support of proposed development will be the responsibility of the developer.

5.4 Highway 16/881 Interchange

Highway 16 is classified as a rural freeway divided highway within Alberta Transportation's roadway hierarchy. Highway 16's freeway status requires the closure of at-grade intersections and development of interchanges at key locations.

Alberta Transportation's Highway 16 access management plan identifies the closure of the at-grade intersection of Highway 16 and Range Road 85 (and Range Road 84 east of the ASP boundary). It also identifies the location of an interchange at the intersection of Highway 16 and Highway 881 (see **Figure 7**). After at-grade intersections are closed and the interchange is constructed, access to the ASP area from Highway 16 will be through the Village of Mannville via Highway 881 and Township Roads 503B and 504.

The construction of the interchange will also impact existing developed properties and roadways within the Village's existing industrial park. As shown in **Figure 7**, roadways from within the Village's industrial park are proposed to extend eastward into the ASP lands. The southernmost road extension may be impacted by the footprint of the proposed interchange. The ASP internal roadway design anticipates this possibility and maintains public road access to all parcels post-interchange construction.

5.5 CN Railway

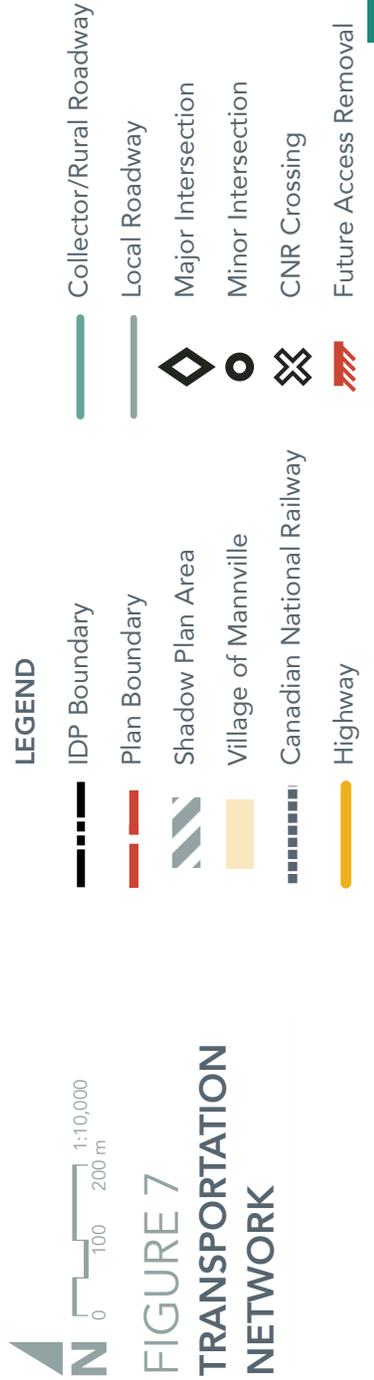
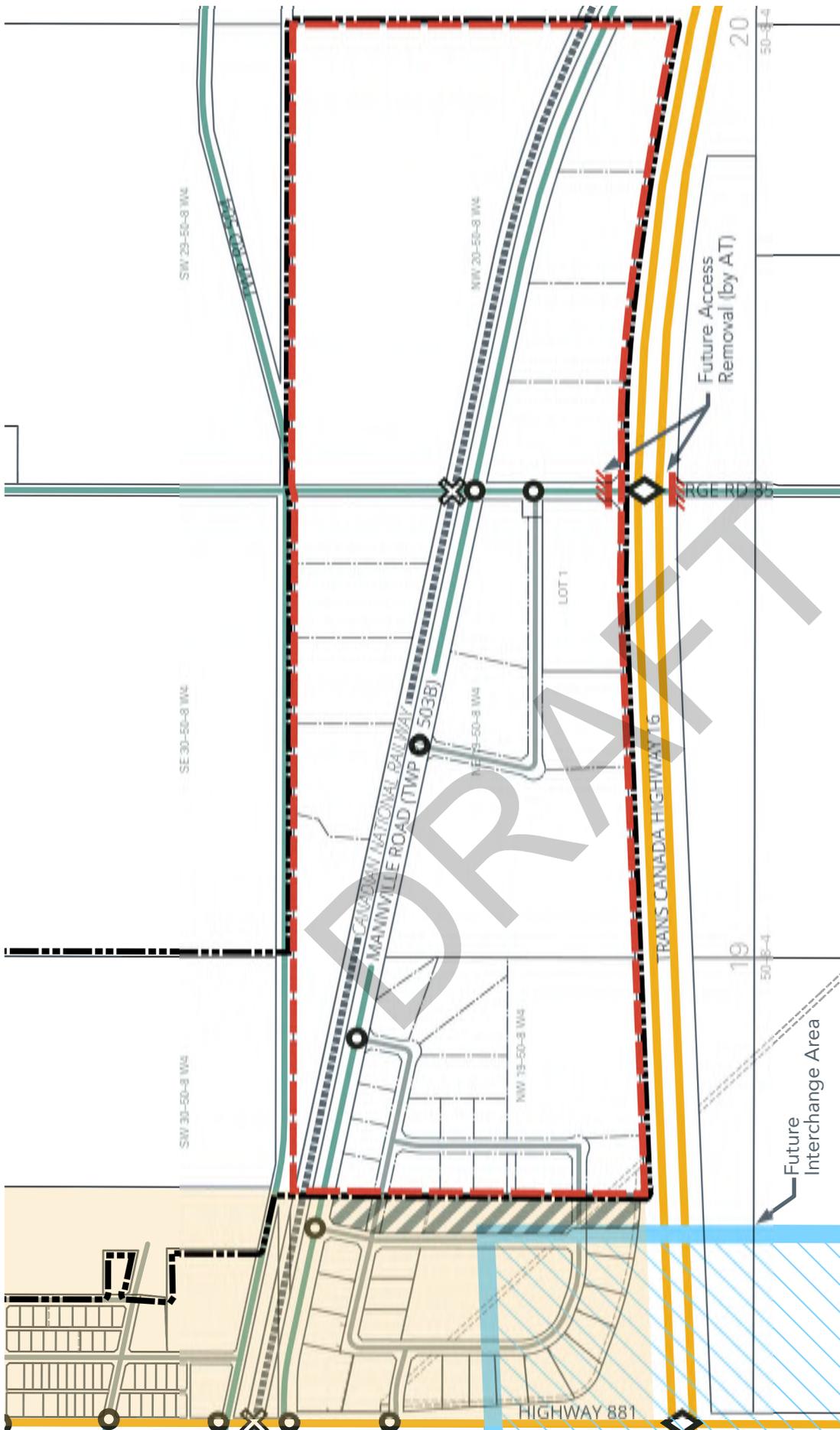
The existing access spacing along Range Road 85 relative to the CN Railway and Township Road 503B may not meet the minimum 60m spacing recommended by Bunt & Associates, although it may meet the Government of Canada's Grade Crossing Standard of a minimum 30m from the edge of the travelled way to the nearest rail of the grade crossing. The spacing will impact the stacking distance for larger vehicles, like a WB-21 semi-trailer or a WB-23 double trailer. If stacking distance becomes a safety issue over time, Township Road 503B may need to be realigned south of its current Range Road 85 intersection location.

The existing CN Railway crossing controls in and adjacent to the ASP may also need to be upgraded over time as traffic volumes increase to maintain safety.

5.6 Additional Analyses

The desktop review undertaken for this ASP does not provide sufficient level of analysis to support subdivision and development. The developer may be required to undertake a traffic impact assessment (TIA) in support of subdivision to determine if intersection upgrades or controls are required because of development.

In addition to a TIA, a geotechnical investigation for roadway construction to confirm soil stratigraphy, suitability of existing soil for construction, and to recommend road pavement structures based on soils and vehicular loading.



6.0 Servicing

BAR Engineering prepared a Servicing Brief (**Appendix E**) and a Stormwater Management Plan (**Appendix F**) to provide high level engineering review, analysis and recommendations for the ASP lands. The discussions below are derived from and informed by this document.

6.1 Water

The lands within the ASP boundary are not currently serviced with a municipal water distribution system. If a municipal water distribution system were to be extended into the ASP area, it would extend from the Shadow Plan area. All costs associated with accessing the ACE waterline and obtaining necessary utility right-of-way would be the responsibility of the developer.

The Village of Mannville is supplied with water from the ACE Waterline Corporation. A watermain, owned and operated by the County, would be required from the connection points at 47A Avenue/45 Street and 45 Street and looped throughout the development to provide service (see **Figure 8**).

Although a municipal water distribution system within the ASP is contemplated, it would not be considered until most of the serviced industrial lots within the Village of Mannville have built out to avoid creating competition for serviced industrial land that could be detrimental to the economic well-being of the Village. It is anticipated that rural water servicing consisting of individual water wells **or cisterns** will be used in the interim.





Water well servicing will require supporting groundwater/hydrogeological assessments prior to and as part of the subdivision process and will require approval and authorization from the **Alberta Environment and Protected Areas** to use groundwater.

6.2 Wastewater

The ASP lands are not serviced by a municipal wastewater system. However, services could be extended from the Shadow Plan area to the **western lots of the ASP boundary** (**Figure 8**). Sanitary sewage for the Village is treated at the Village lagoon.

6.2.1 Servicing Feasibility

A municipal wastewater collection system for the ASP lands could consist of a low-pressure collection system and/or gravity sanitary mains in combination with lift stations. The cost-effectiveness of such a system needs further analysis and is outside the scope of this ASP.

However, with the **possible capacity challenges of the Village's lagoon storage cells** discussed above, and the possible need for one or more lift stations to support sanitary servicing in the ASP boundary, a municipal wastewater system **to service the ASP** lands could be cost-prohibitive. If this proved to be the case, then the **smaller lots shown in Figure 8 in the western half of the ASP** may not be large enough to support independent servicing, such as septic tanks and treatment fields/mounds, and **would** instead be required to be serviced with holding tanks in order to meet provincial setback requirements.

Municipal servicing feasibility within the ASP boundary requires additional discussion between the Village of Mannville and the County of Minburn.

6.2.2 Village Lagoon Capacity

To inform consideration of urban service provision to the smaller industrial lots within the western half of ASP boundary, BAR Engineering (BAR) was retained to update its 2009 capacity analysis of the Village's lagoon. A summary is provided below, and the detailed analysis can be found in **Appendix C**.

In summary, the 2023 report confirms the 2009 report findings, and identifies that providing servicing for development outside of the Village's boundary will require lagoon capacity upgrades. While a lagoon upgrade is contemplated by the Village in the future, the timing of such a project would be subject to the Village's capital budgeting prioritization process.

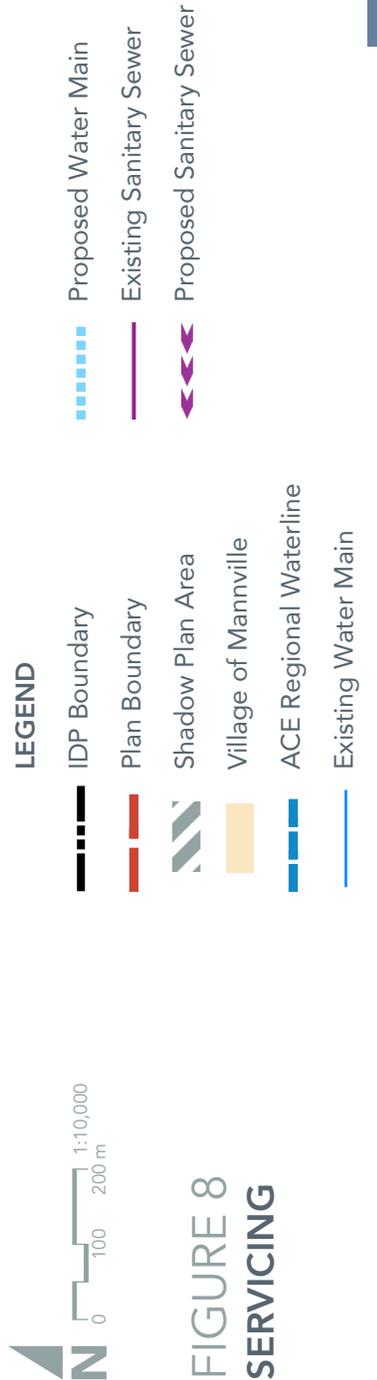
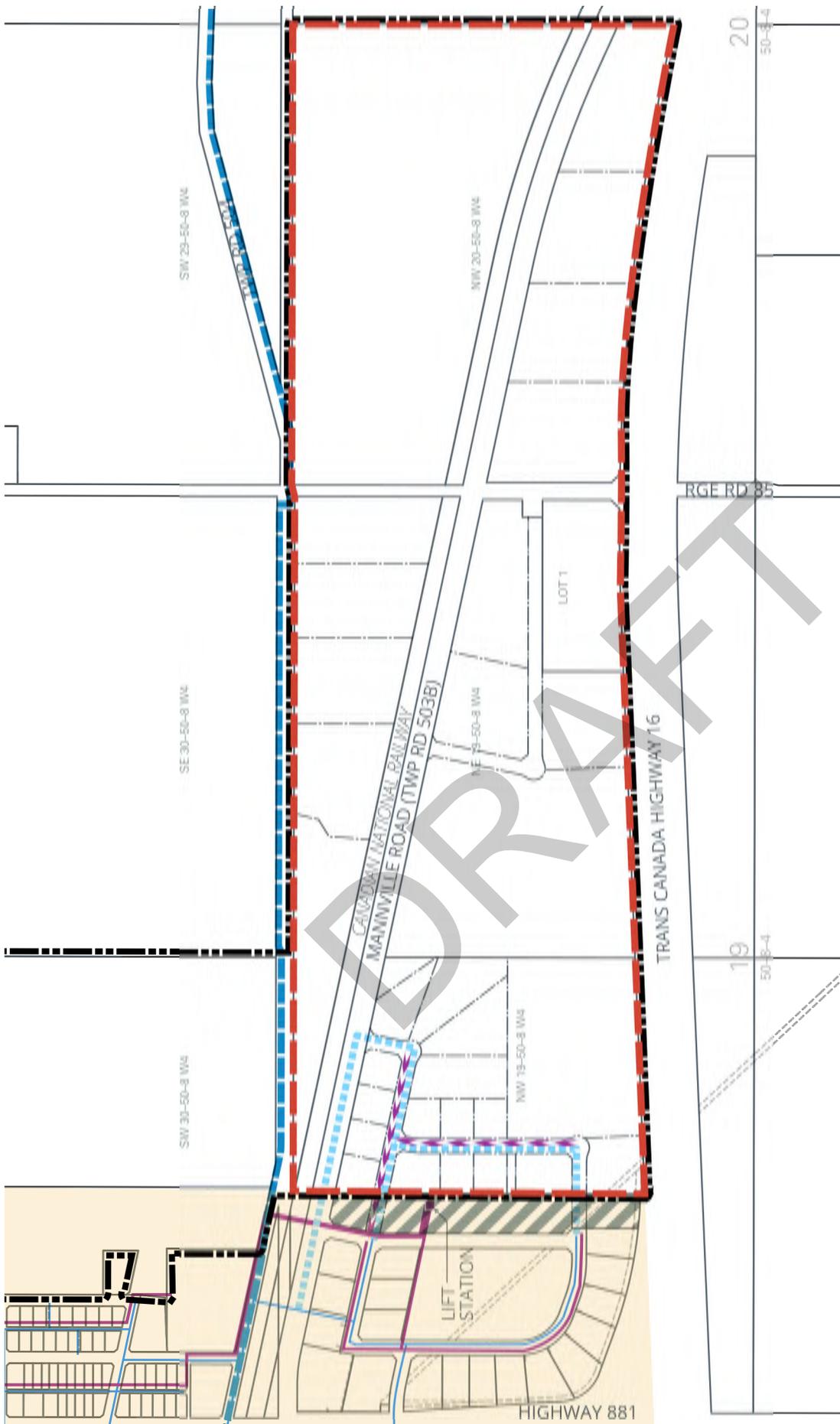
6.3 Stormwater Management

Two stormwater management scenarios in the Stormwater Management Plan (**Appendix F**) were developed and analyzed to support maximum flexibility of development in the future. The two stormwater management concepts are illustrated conceptually in **Figures 9A** and **9B**.

Both scenarios assumed wetponds (stormwater management ponds) would be used to provide water quality enhancement through settling of runoff pollutants within the permanent pool, or the normal water levels. Rain event runoff is assumed to be stored above the permanent pool and released downstream at a restricted rate after the rain fall event has ended. The rate of release is generally kept at the same rate as at pre-development to mitigate impacts on downstream watercourse. The storage area of the wetpond is within 2m above the permanent pool and can store 1 in 100-year storm runoff or the 1 in 25-year storm runoff for a period of 24 hours. Additional design assumptions and details can be found in **Appendix F**.

Scenario 1 (**Figure 9A**) includes an overall stormwater management system consisting of interconnected stormwater management ponds for all the proposed development areas.

Scenario 2 (**Figure 9B**) consists of a dedicated stormwater management pond for the smaller, potentially serviced lots adjacent to the Village coupled with private on-site stormwater management storage ponds on the remaining parcels.



Further review and refinement of the stormwater management plan will be required at the subdivision stage once phasing has been confirmed as phasing may impact the proposed stormwater management pond locations.

The minimum setback required by Alberta Transportation for stormwater management ponds is 40m from the edge of the road right-of-way. This setback distance may be reduced by Alberta Transportation to 30 m if the pond is protected by a berm and/or fence and/or guard rail. The current dugout/stormwater pond has a setback distance of 30 m. Any new stormwater management facilities should be installed no closer to Highway 16 than the current dugout/stormwater pond. Additionally, the developer will require a roadside development permit from Alberta Transportation for construction of all stormwater management ponds and infrastructure within 800m of the centerline of Highway 16 prior to development.

6.4 Shallow Utilities

Shallow utilities will be brought into sites as needed by the developers, and rights-of-way will be established at the time of subdivision as needed. Specifically, ATCO Gas requires that a suitable alignment be provided within the boulevards of all arterial and major roads for the ATCO Gas feeder mains.

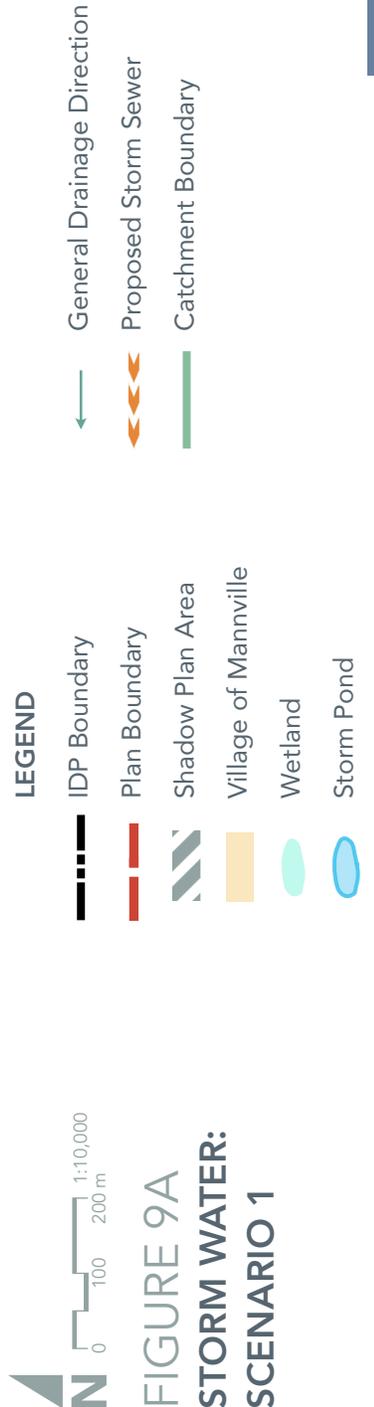
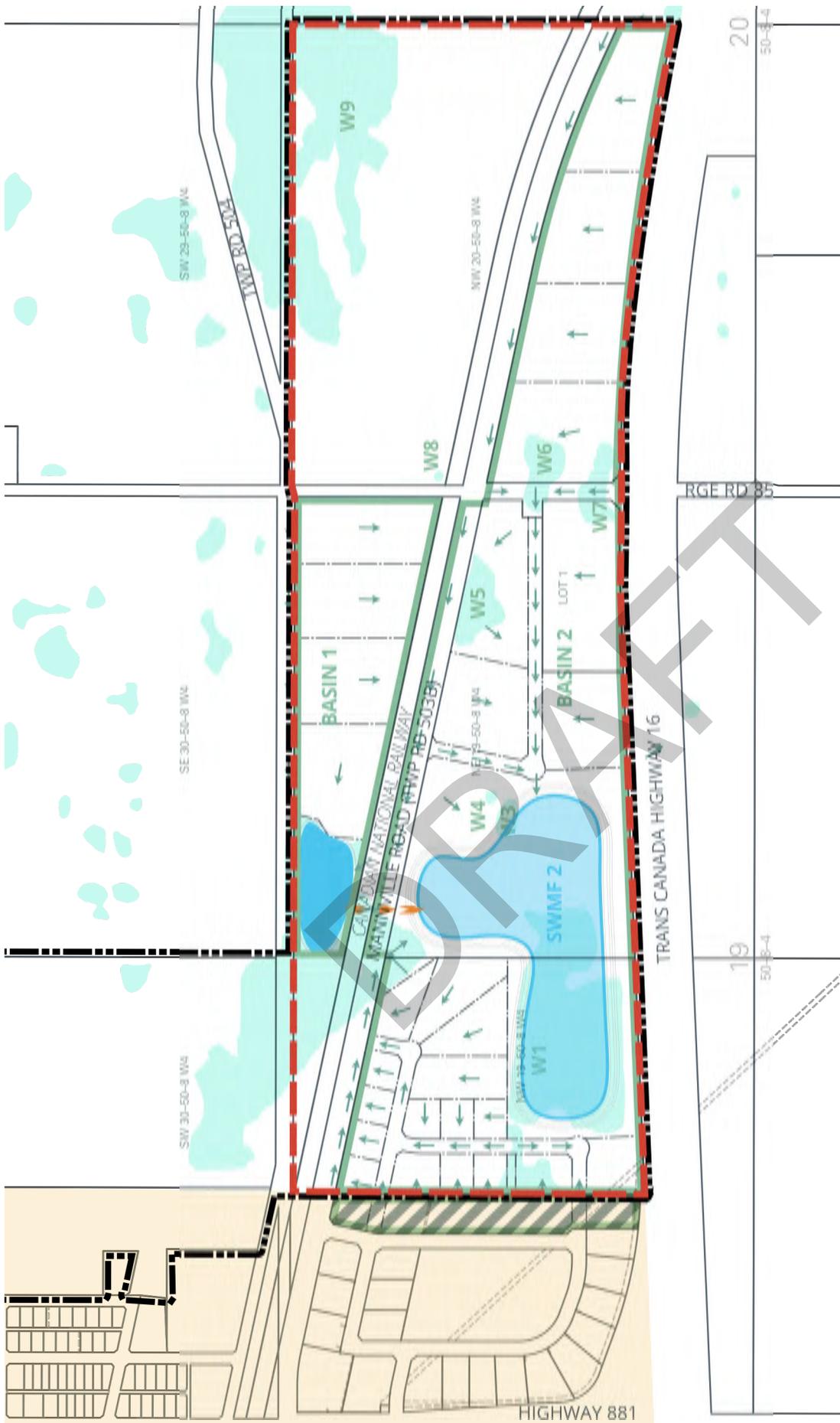
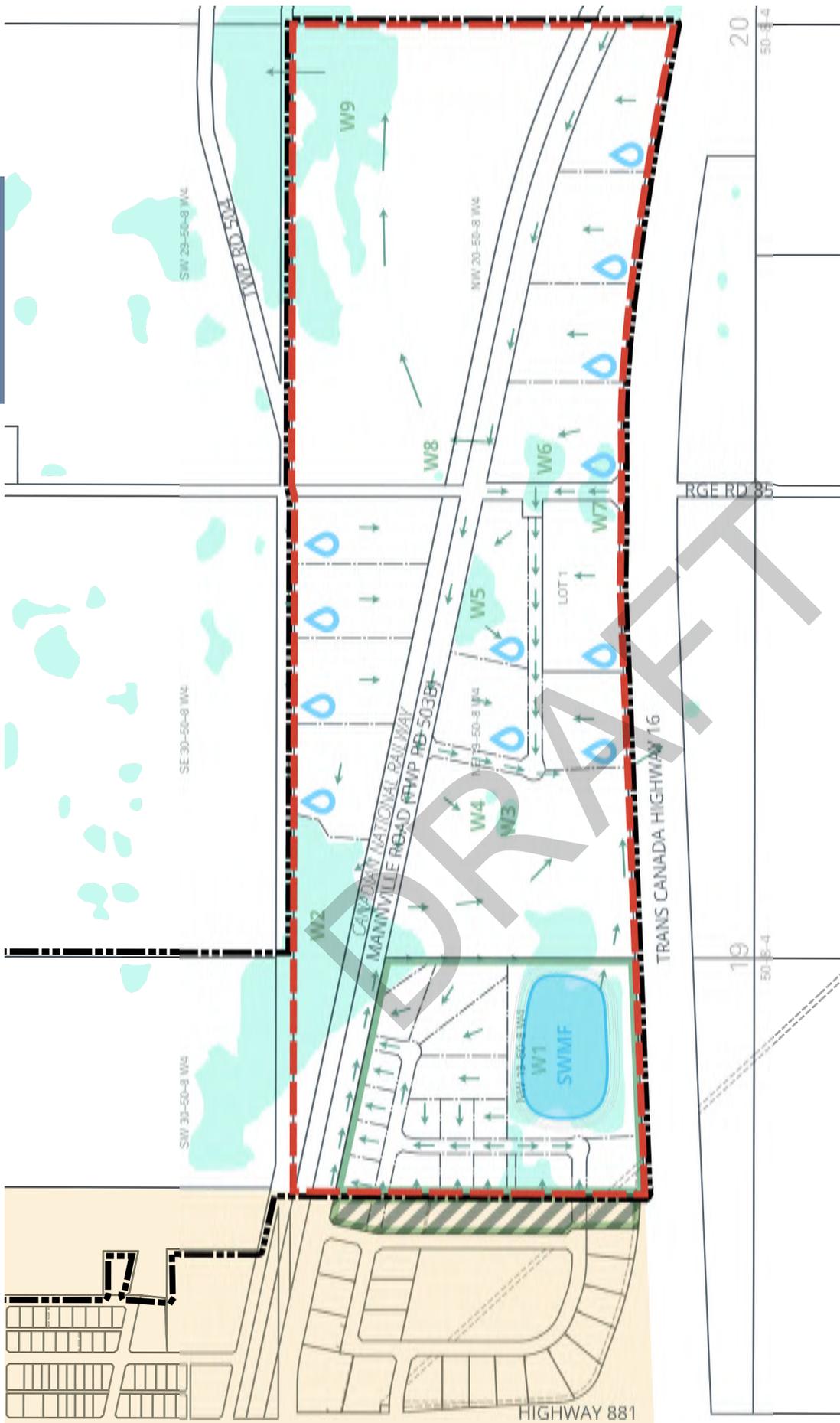


FIGURE 9A
STORM WATER:
SCENARIO 1



LEGEND

- IDP Boundary
- Plan Boundary
- Shadow Plan Area
- Village of Mannville
- Wetland
- Storm Pond
- General Drainage Direction
- Catchment Boundary
- Private On-Site Storm Water Management Required

Scale: 1:10,000
 0 100 200 m

FIGURE 9B
STORM WATER:
SCENARIO 2

7.0 Earthworks

The field analysis undertaken by SolidEarth Geotechnical led to numerous findings and recommendations for development in its report, found in **Appendix B**. It should be noted that the recommendations are preliminary only and should not be used in detailed design. A detailed geotechnical investigation should be completed for each proposed development lot/building site during the detailed design stage.

Findings and recommendations were developed for site development, foundation options and preliminary design, stormwater management pond, installation of buried utilities, and pavement structure.

The recommendations for site development are summarized below. For details and full discussion of the other key areas of analysis, please reference the source document.

Subgrade Preparation

1. During initial site grading, all topsoil should be stripped and removed from the site.
2. Topsoil should not be mixed with mineral soils or be used as engineered fill material.

3. Construction traffic on unprotected subgrade should be kept to a minimum and restricted to low pressure track equipment to the extent possible
 - a. Exposed subgrade may be sensitive to heavy rubber-tire construction equipment, especially in wet conditions,
 - b. Soft subgrade conditions may be encountered at some locations, particularly following snow melt and heavy rain events.
4. All exposed subgrade, following achievement of rough grades, should be inspected by a geotechnical engineer, and include a proof-roll test to confirm that deflections from construction traffic are minimal. Soft and weak areas identified during inspection should be strengthened and improved.
5. Engineered fill should consist of low to medium plastic clay or a well-graded, granular material.
6. All fill soils should be free from any organic materials, contamination, deleterious construction debris, and stone greater than 150mm in diameter.

Requirement for Engineered Fill

1. Engineered fill should be thawed when placed and placed during non-frozen conditions.
2. All engineered fill should be compacted to a minimum of 98% of standard Proctor maximum dry density (SPMDD) within the proposed building envelopes, and to a minimum 95% of SPMDD within graveled yards and paved areas.
3. The upper 300mm of the subgrade within the paved areas should be compacted to 98% of SPMDD.
4. Fill should be compacted in lift thickness of 300mm (loose) or less, and within two percent of the optimum moisture content of the soil.

5. Engineered fill within the building footprint should extend at least 1.5m, or the thickness of the fill, beyond the footprint of the building.
6. Fill placement procedures and quality of the fill soils should be monitored by geotechnical personnel.
7. Field monitoring should include compaction testing at regular frequencies.
8. Settlement in the order of one to three percent of the fill thickness should be anticipated for engineered fill compacted between 98% and 95% SPMDD. The majority of this settlement is expected to occur within the first year following construction.

Site Drainage

1. A minimum grade of 2% is recommended at the subgrade level to accommodate surface water runoff away from the development area.
2. The upper 300mm of the backfill around buildings (where no pavement structure is proposed) should consist of compacted clay to act as a seal against runoff water. The clay should extend a minimum distance of 3m away from the building and should be graded at a slope of 5% or more.
3. Positive surface drainage should be provided in the early stages of construction to prevent ponding of water and softening of the subgrade.

8.0 Interpretation & Implementation

8.1 Interpretation

Policies are written using “*shall*”, “*should*” or “*may*” statements. The interpretations of “*shall*”, “*should*” and “*may*” that follow provide the reader with a greater understanding of the intent of each policy statement:

‘Shall’ — denotes compliance or adherence to a preferred course of action.

‘Should’ — denotes compliance is desired or advised but may be impractical or premature because of valid planning principles or unique/ extenuating circumstances.

‘May’ — denotes discretionary compliance or a choice in applying policy.





8.2 Monitoring & Amendment

Plan implementation will be primarily through the subdivision and development of land in ways consistent with the policies and vision of this ASP. Variances to the requirements of this ASP should not be considered unless supported by defensible planning rationale. Part of implementation is monitoring the document for continued consistency with the County's plans and policies, as well as higher-order statutory documents. This ASP should be reviewed at least every five years to ensure its continued relevance.

Occasionally, it will be desired or necessary to amend the ASP to keep it consistent with changing policies, market needs, or to address housekeeping matters. Housekeeping amendments consisting of correcting typos, grammatical errors and the like will not necessitate a formal amendment process. However, major amendments, such as changing land use designations, locations of major infrastructure or other similarly substantive changes, will trigger a formal amendment process including notification, public engagement and circulation to agencies pursuant to the MGA.

9.0 Policies

9.1 General

Development Control

POLICY 1

The developer shall be required to seek a Roadside Development Permit from Alberta Transportation for all development proposals.

Compliance with ASP

POLICY 2

The County of Minburn shall ensure that all future land use, subdivision and development, and amendment decisions made with respect to lands within the boundary of the Mannville East Industrial Park ASP comply with the provisions contained within this ASP, including the Figures. Decisions related to document 'housekeeping' or those that would be considered minor deviations, relaxations, or variations from the provisions of this ASP would not require an amendment to this document where it can be demonstrated that the deviation, relaxation or variance does not substantively alter the intent, force or effect of the provisions of this ASP.

POLICY 3

The developer shall ensure that all site preparation, public road, and any other public facility/improvement is professionally engineered and constructed to the satisfaction of the County of Minburn in accordance with the County's standards.

9.2 Environment

- POLICY 4** Developers shall undertake an Alberta Wetland Rapid Evaluation Tool assessment prior to development, and in support of subdivision, to determine the exact class of wetland and appropriate mitigation measures for wetland impact, including development setbacks, contained within development area or plan of subdivision.
- POLICY 5** The developer shall require Alberta Water Act approval prior to impacting existing wetlands.
- POLICY 6** The developer shall employ measures during construction to control noxious weeds.
- POLICY 7** The developer shall develop and employ a sedimentation and erosion control plan, especially around retained wetlands.
- POLICY 8** The developer should undertake a field survey prior to development to determine the presence of rare plant species.
- POLICY 9** The developer should undertake wildlife and nest sweeps between April 1 and August 15 and within seven (7) days of the onset of development, including vegetation clearing.

9.3 Industrial

- POLICY 10** The County shall ensure that Industrial uses proposed to be located immediately adjacent existing residences should not produce excessive light trespass, noise, dust, smells or other nuisance that is, in the opinion of the Development Authority, in excess of what one might experience living next to an agricultural operation.
- POLICY 11** The County shall require screening and/or fencing to be employed to reduce negative visual impact of laydown yards, outdoor storage of equipment and other uses with potential for unsightliness in proximity to existing residences.
- POLICY 12** Developers shall avail themselves of the CN Rail Proximity Guidelines and development proposals shall be respectful of and reflect the suggested design parameters contained therein.

9.4 Agricultural

- POLICY 13** The County shall allow existing agricultural operations to continue in perpetuity at the will of the landowner.
- POLICY 14** The County should ensure that existing agricultural operations in the Agricultural designation are not unduly impeded and/or impacted upon by future adjacent non-agricultural development within the ASP boundary.
- POLICY 15** The County shall allow the existing residences within the Agricultural designation to remain or to be renovated or reconstructed in compliance with all applicable bylaws and building codes.
- POLICY 16** The County shall not support new residential developments within the ASP boundary.
- POLICY 17** The County should support conversion of Agricultural designated land to Industrial/Commercial designation with an amendment application supported by additional analysis proving suitability of the land for the intended use.

9.5 Sequence of Development

- POLICY 18** The County should ensure the development of the smaller, potentially serviced lots within the western half of the ASP boundary occurs after the Village of Manville's supply of existing industrial land within the Shadow Plan area is mostly built out.

9.6 Reserve Lands

- POLICY 19** The County shall maximize reserve dedication pursuant to the MGA.
- POLICY 20** The County should allow for municipal reserve dedication in the form of cash in lieu of land.
- POLICY 21** The County should not permit municipal reserve deferral.

- POLICY 22** The County shall dedicate the setbacks around wetlands, as well as the retained wetlands themselves, as environmental reserve or environmental reserve easement at the time of subdivision.
- POLICY 23** The County shall not identify naturalized or converted wetland stormwater management ponds as environmental reserve.
- POLICY 24** The County shall not give municipal reserve credit for land above the high-water mark of stormwater management ponds.

9.7 Transportation

Roads & Access

- POLICY 25** The County shall require that all proposed roadways within the ASP are **engineered, designed, and** developed to a rural cross section with roadside ditches to provide drainage and convey stormwater runoff, to the County's current road standards.
- POLICY 26** The County should require that roadways are constructed to accommodate a minimum 9m finished top width to support truck traffic.
- POLICY 27** The County should require intersection spacing on Range Road 85 is a minimum 60m.
- POLICY 28** The County should require intersection spacing on Township Roads 503B and 504 is a minimum 100m.
- POLICY 29** **The County shall ensure that a suitable alignment is provided within the boulevards of all arterial and major roads for the ATCO Gas feeder mains.**

Traffic Impact Assessment

- POLICY 30** The developer may be required to prepare a Traffic Impact Assessment (TIA), at their sole expense, in support of a subdivision or development permit application. The scope of the TIA will be determined by Alberta Transportation and the County of Minburn. If a TIA should be required, it will be prepared to the satisfaction of Alberta Transportation, in consultation with the County.

POLICY 31

The developer shall undertake a Traffic Impact Assessment to determine if the at-grade intersection of Hwy 16 & RR85 will need improvements to make sure that the intersection will be able to safely accommodate the traffic generated by the development.

On- and Off-Site Improvements

POLICY 32

The developer shall undertake, at the sole cost of the developer, any engineering, requirements or improvements identified in or resulting from the TIA approved by the County and/or Alberta Transportation, or any other engineering, requirement or improvement specified by Alberta Transportation in relation to Highway 16 or Highway 881 as a result of or that is attributable to the development of land within this ASP must be undertaken to the satisfaction of Alberta Transportation, in consultation with the County.

POLICY 33

The developer shall be responsible for all costs associated with transportation network improvements in support proposed development as identified in an approved Traffic Impact Assessment.

CN Railway

POLICY 34

The County may need to consider realigning Township Road 503B south of its current Range Road 85 intersection location if stacking distance between the CN Railway and Township Road 503B becomes a safety issue.

POLICY 35

The County may need to collaborate with CN Railway to improve crossing controls in and adjacent to the ASP over time as traffic volumes increase, in order to maintain safety.

Additional Analyses

POLICY 36

The developer shall undertake a geotechnical investigation to confirm soil stratigraphy, suitability of existing soil for construction, and to recommend road pavement structures based on soils and vehicular loading.

9.8 Services

General

POLICY 37 The County shall require that the smaller lots adjacent to the Village's eastern boundary, as depicted conceptually in Figure 5, be serviced by municipal services if those services are available at the time of development. All costs associated with connecting to municipal services shall be borne by the developer.

Water

POLICY 38 Water well servicing will require supporting groundwater/hydrogeological assessments prior to and as part of the subdivision process and will require approval and authorization from Alberta Environment and Protected Areas to use groundwater.

POLICY 39 The Developer shall bear all costs associated with accessing and distributing potable water from the ACE water line in support of their development.

Wastewater

POLICY 40 The County shall require sanitary sewer holding tanks on lots 2.02ha in area or smaller to ensure provincial setback requirements are met.

POLICY 41 The County shall discuss municipal sanitary sewer servicing options within the ASP boundary with the Village of Mannville.

Stormwater Management

POLICY 42 The County shall not identify private stormwater management ponds as public utility lots at the subdivision process.

POLICY 43 The County shall require that stormwater management ponds have a setback of a minimum of 40m from the edge of the Highway 16 right-of-way unless otherwise approved by Alberta Transportation.

Shallow Utilities

- POLICY 44** The developer shall make all arrangements and provide all necessary rights-of-way for shallow utilities to service the lot.
- POLICY 45** Stormwater management ponds should be naturalized to eliminate the need for mowing maintenance and to dissuade access by people.

9.9 Lighting, Landscaping & Screening

Lighting

- POLICY 46** The County of Minburn shall encourage dark night skies.
- POLICY 47** The County of Minburn should require developers to mitigate light trespass from new developments through use lighting with full cut-off fixtures and avoiding unnecessary up-lighting into the night sky.

Landscaping & Screening

- POLICY 48** The County of Minburn should not vary minimum standards of the Land Use Bylaw for screening and landscaping on new developments in the ASP boundary, especially in proximity to existing residences, a public road or Highway 16.
- POLICY 49** The County of Minburn shall encourage an elevated standard both with respect to landscaping standards and architectural appearance, with respect to all new development or any redevelopment within 300m of Highway 16.

9.10 Implementation

- POLICY 50** The County of Minburn will ensure that when amendments are made to this ASP in the future, any complementary amendments to the Municipal Development Plan or Intermunicipal Development Plan are also made to ensure conformance with Section 638(2) of the Municipal Government Act.

- POLICY 51** Housekeeping amendments consisting of correcting typos, grammatical errors and the like shall not necessitate a formal ASP amendment process.
- POLICY 52** Changes to the subdivision concept shown shall not require an amendment to the ASP.
- POLICY 53** Major amendments such as changing land use designations, changing major infrastructure or other similarly substantive changes shall require a formal ASP amendment process including notification, public engagement and circulation to agencies pursuant to the MGA.
- POLICY 54** In accordance with the Village of Mannville-County of Minburn Intermunicipal Development Plan, the County shall refer applications for amendment of this ASP to the Village for review and comment.
- POLICY 55** The exercise of discretion and variance related to any matter or decision rendered with respect to this ASP, as well as any amendment to this ASP, shall be guided by the following principles:
- a) The exercise of variance or discretion in deciding an application or amendment to this ASP must be both reasonable and defensible within the letter and spirit of this ASP as well as widely accepted planning principles.
 - b) If a requirement or provision of this ASP is to be deviated from or if an amendment is to be made, it is essential that those exercising the discretion or deciding upon variance or making the amendment clearly understand the rationale behind the requirement or provision they are being asked to vary or amend.
 - c) Discretion, variance and amendment shall only be considered if it can be demonstrated that the discretion, variance or amendment being considered will, at a minimum, not jeopardise the policies of this ASP and, at best, better serve them.
 - d) Any variance or discretion exercised, or any amendment made, shall be fully documented so that the reasons and rationale for the variance or discretion exercised or amendment made are accurately recorded and clearly understood.
- POLICY 56** The County of Minburn should monitor the Mannville East Industrial Park ASP on an on-going basis and undertake more thorough review every five years.

A

Appendix A Biophysical Report



Does not form part of this Bylaw.

Prepared by: X-Terra Environmental Services Ltd.

B

Appendix B Geotechnical Report

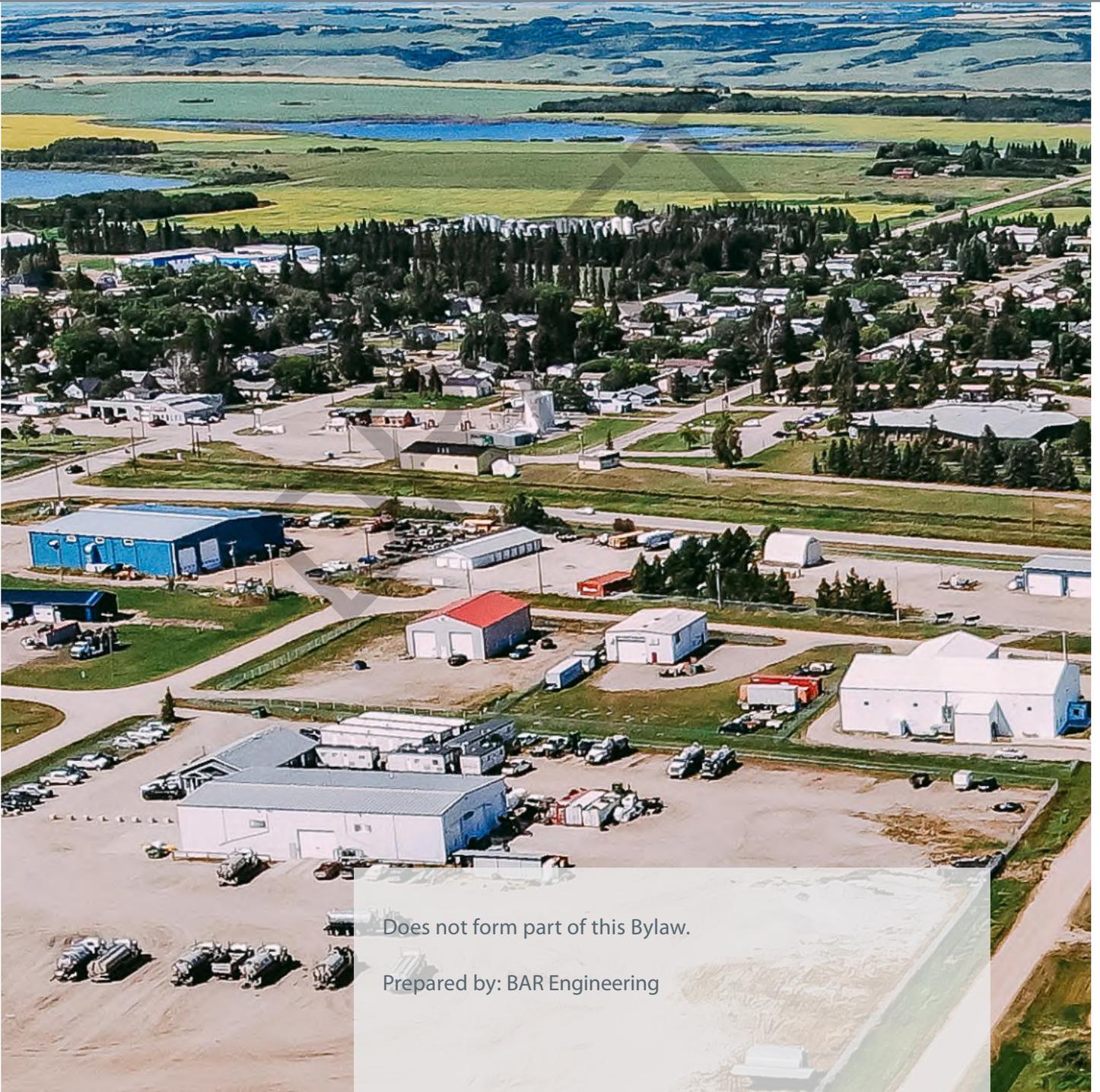


Does not form part of this Bylaw.

Prepared by: SolidEarth Geotechnical Inc.

C

Appendix C Lagoon Assessment



Does not form part of this Bylaw.

Prepared by: BAR Engineering

D

Appendix D Transportation Review



MANNVILLE RD

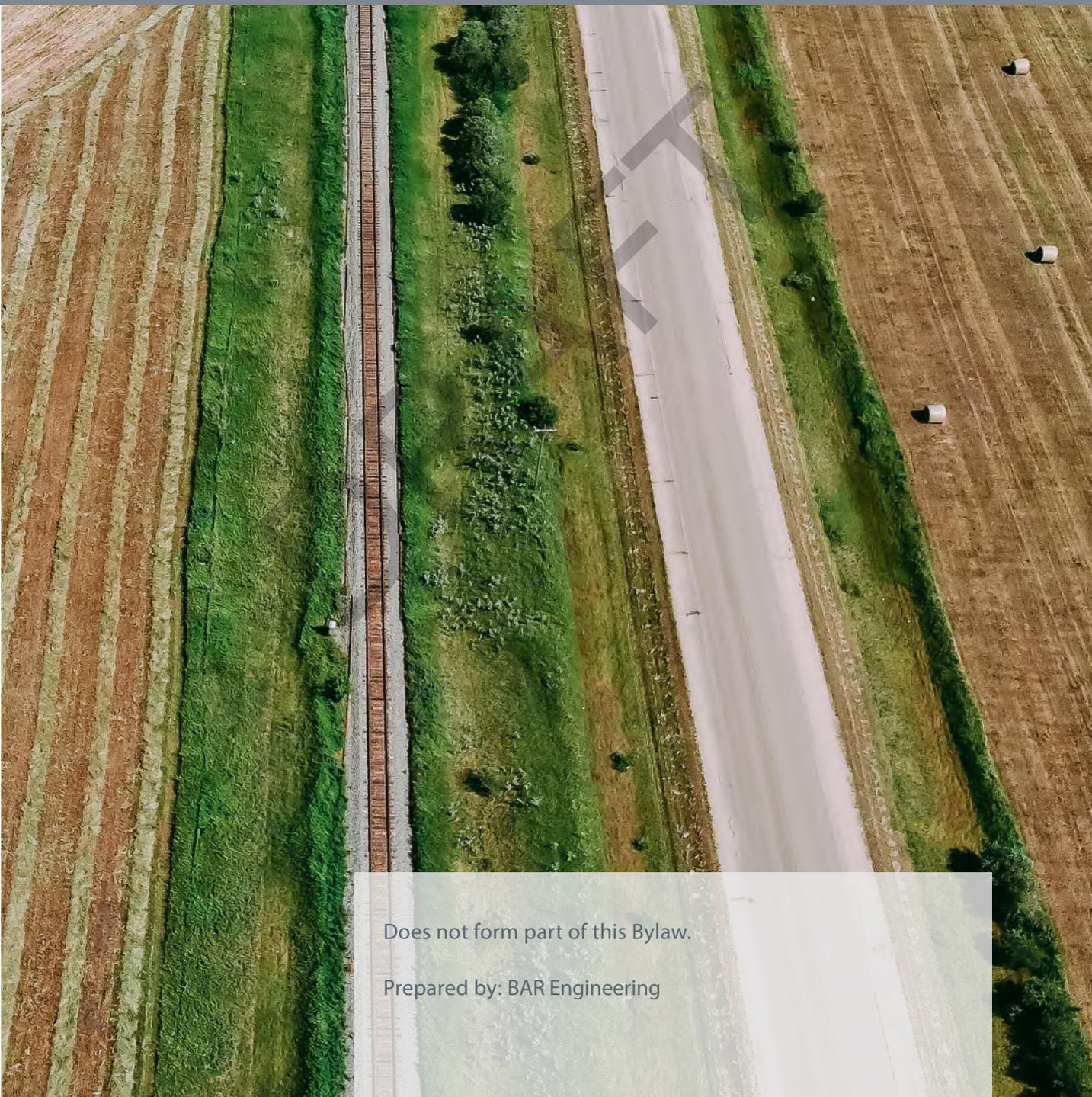
Does not form part of this Bylaw.

Prepared by: BAR Engineering



E

Appendix E Servicing Brief



Does not form part of this Bylaw.

Prepared by: BAR Engineering

F

Appendix F Stormwater Management Plan



Does not form part of this Bylaw.

Prepared by: BAR Engineering



G

Appendix G Certificates of Title (redacted)



Does not form part of this Bylaw.



Village of
Mannville

East Industrial Park Area Structure Plan



Prepared by Red Willow Planning
All photos by Davin Gegolick



Council Request for Decision (RFD)

Title: _____

Meeting Date: _____

Department: _____

Recommendation:

Background:

See Appendix

Legislative Guidance:

Provincial Municipal None

Details:

Council Priorities Chart:

Yes No

Details:

Previous Council Direction:

Financial Implications:

Capital Operations Other

Details:

Communication and Engagement:

Implementation Timeline:

Attachments:

Prepared By: _____

Reviewed By: *P. Podchorsky*



COUNTY COUNCIL

Title: County Flow Chart

Supersedes Policy Number: CC 14

Policy Number: CC 3002-01

Next Review Date: 2022

Approved by Council: August 21, 1990

Last Review Date: December 17, 2018

Resolution No: 243-18

POLICY STATEMENT

This policy relates to adopting a flow chart for the County of Minburn No. 27

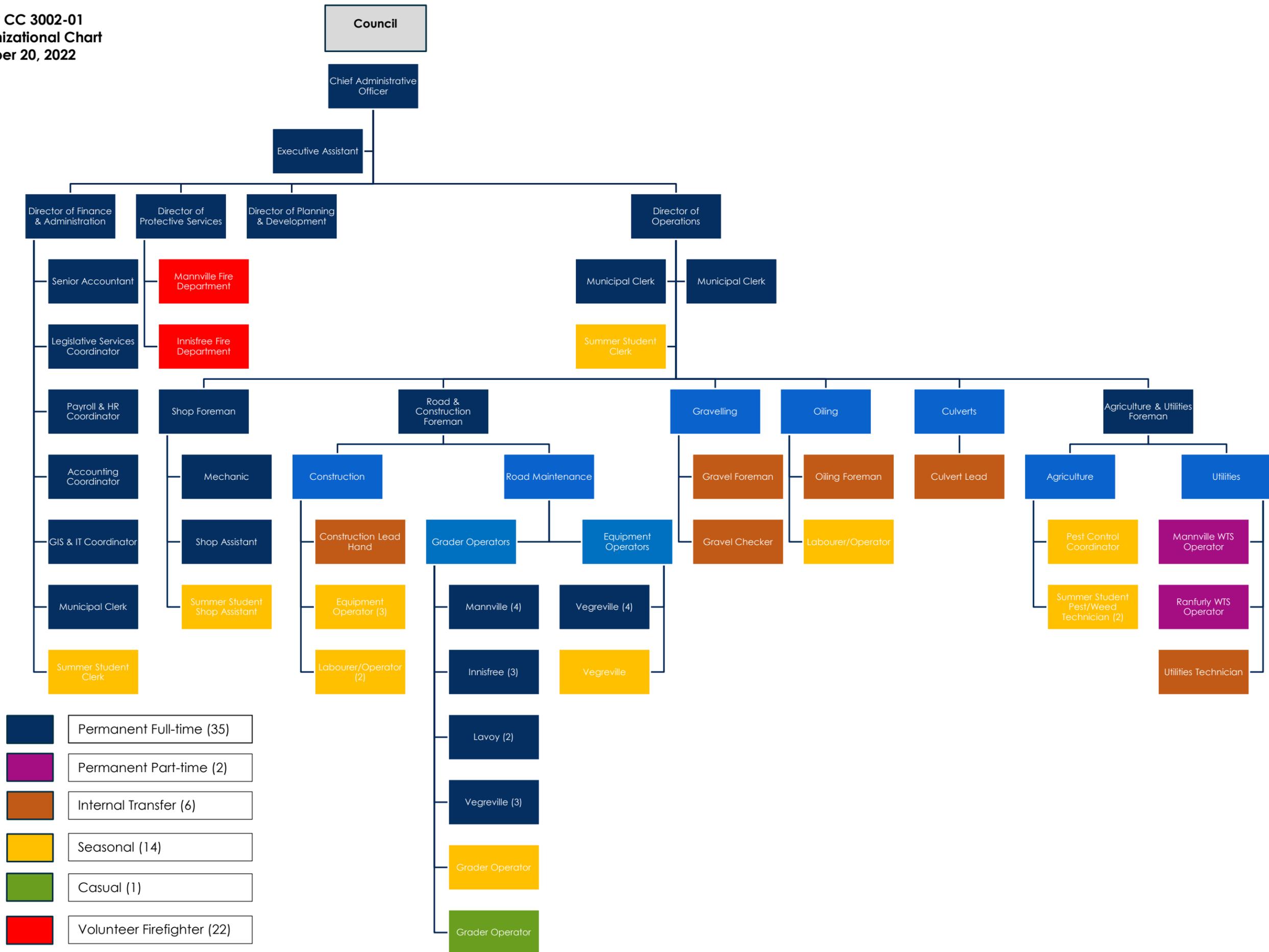
PURPOSE

A chain of command shall be in place and governed in accordance with the flow chart attached.



Reeve

Policy CC 3002-01
Organizational Chart
October 20, 2022



- Permanent Full-time (35)
- Permanent Part-time (2)
- Internal Transfer (6)
- Seasonal (14)
- Casual (1)
- Volunteer Firefighter (22)



Council Request for Decision (RFD)

Title: _____

Meeting Date: _____

Department: _____

Recommendation:

Background:

See Appendix

Legislative Guidance:

Provincial Municipal None

Details:

Council Priorities Chart:

Yes No

Details:

Previous Council Direction:

Financial Implications:

Capital Operations Other

Details:

Communication and Engagement:

Implementation Timeline:

Attachments:

Prepared By: _____

Reviewed By: P. Podobny



Acknowledgement of Consultation

Attestation de la consultation

District / Detachment Information - Renseignements sur le district ou le détachement

Fiscal Year - Année financière 2023 - 2024
 EAST AB DISTRICT
 Vermilion Det

Community Name(s) - Nom(s) de la(des) collectivité(s)

- 1. County of Minburn

This letter acknowledges that the stakeholders of the above-noted detachment / district / unit area or community(ies) and the RCMP have consulted and discussed our progress against last year's priority issues. Further it has been agreed that over the coming year we will collectively focus on the following priority issues.

La présente lettre atteste que les responsables de la région du détachement/district/service ou de la ou des collectivités susmentionnées et de la GRC se sont consultés et ont discuté des progrès accomplis par rapport aux enjeux prioritaires de l'année dernière. Il a aussi été convenu que les enjeux suivants constituent les enjeux prioritaires sur lesquels nous concentrerons conjointement nos efforts au cours de l'année à venir.

Community Priority Issue(s) - Enjeu(x) prioritaire(s) pour la collectivité

- 1. Crime Reduction - Property Crime
- 2. Police / Community Relations - Consultations and Connections
- 3. Police / Community Relations - Police Visibility

District / Detachment Commander - Chef de district / détachement

Corey Buckingham

District / Detachment Commander

Signature - Signature

2023-07-07

Date

Community Representative - Représentant(e) de la collectivité

CAO Pat Podoborzny

Name - Nom

Signature - Signature

Date



Council Request for Decision (RFD)

Title: _____

Meeting Date: _____

Department: _____

Recommendation:

Background:

See Appendix

Legislative Guidance:

Provincial Municipal None

Details:

Council Priorities Chart:

Yes No

Details:

Previous Council Direction:

Financial Implications:

Capital Operations Other

Details:

Communication and Engagement:

Implementation Timeline:

Attachments:

Prepared By: _____

Reviewed By: P. Podoborsky



PROTECTIVE SERVICES

Title: County Fires / Roles and Responsibilities

Supersedes Policy Number: PS 1

Policy Number: PS 8001-01-A

Next Review Date: September 2022

Approved by Council: June 21, 2004

Last Review Date: September 17, 2018

Resolution No:

POLICY STATEMENT

This Policy relates to the appointment of County personnel to respond to, investigate and report all fires within the County of Minburn No. 27 boundaries.

GENERAL PRINCIPLES

1. The appointed Fire Chief/Disaster Services Director is responsible for responding to, investigating, and reporting all fires (wildland or structural) within the County. If deemed necessary, and/or responding fire departments need assistance, he has the authority to call in any County personnel and equipment, private contractors or equipment to fight a fire.
2. The appointed Fire Chief/Disaster Services Director may delegate responsibilities to any District Fire Chief.
3. The Director of Operations is to provide assistance to the Fire Chief when requested.
4. The Agriculture and Utilities Foreman, or in his absence, the Assistant Agricultural Fieldman is to supply fire permit information and assist the Fire Chief as required.
5. The Fire Chief reports the fire to the Chief Administrative Officer (CAO), Reeve/Deputy Reeve and Councillor whose area is affected.
6. The Fire Chief submits a report on the results of the fire to County Council.
7. The Fire Chief contacts the Policy Authority regarding the filing of charges for any person or business that contravenes the *Forest & Prairie Protection Act*, the *Safety Codes Act*, or any other legislation, regulation, permit or order.
8. The Director of Protective Services (County Fire Chief) will be a certified Safety Codes Officer-Fire and will be designated by the County of Minburn.

9. The Director of Protective Services (County Fire Chief) is solely responsible for Fire Cause Investigations and completion of the *Alberta Fire Report* for submission to the Fire Commissioner for the Province of Alberta.

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke extending to the right.

Chief Administrative Officer



PROTECTIVE SERVICES

Title: County Employee Procedures for Emergency Situations

Policy Number: PS 8004-01-A

Supersedes Policy Number: PS 5

Approved by Council: April 1, 2014

Next Review Date: September 2022

Resolution No:

Last Review Date: September 17, 2018

POLICY STATEMENT

The purpose of this policy is to provide an understandable reference for use in emergency situations in order to promote the safety of County employees. This policy addresses the most common and most likely emergencies that employees may face on any given day. This policy relies on employees using **their best judgment** when responding to an emergency situation.

GENERAL PRINCIPLES

1. For the following emergencies employees shall immediately contact **911**:
 - a. Any situation where there is a serious injury/sickness to a person which requires immediate assistance from emergency services. Request **911** to dispatch ambulance to your location.
 - b. Any situation where the employee feels threatened by a physical attack from a person (Workplace Violence). Refer to County Policy PW 42 Workplace Violence. Request **911** to dispatch police to your location.
 - c. Any uncontrolled fire including structure fire or grass/bush fires. Request **911** to dispatch fire department to your location. If unsure if the fire is a controlled fire (old buildings, wood debris or stubble fire) contact County Fire Chief via cell phone or two-way radio to obtain more information.
 - d. Any motor vehicle collision where there exists a possibility of injury to the occupants of the vehicle. This includes collision with other vehicles, roll-over into ditch or median or entering ditch wheels up at high rate of speed. Request **911** to dispatch ambulance **AND** fire department to your location.
 - e. Any hazardous chemical spill on highways, county roads or CNR Railway right-of-way. Look for TDG placards on vehicle, rail cars or tanks. Move upwind of the spill and request **911** to dispatch fire department to your location. If available, provide TDG information to **911**.

2. For the following possible emergencies employees shall immediately contact in the order listed below:

Director of Protective Services/Fire Chief Mike Fundytus at 780.208.6434

Director of Operations Norm De Wet at 780.357.6897

Chief Administrative Officer (CAO) Jason Warawa 780.843.9617



Chief Administrative Officer



Council Request for Decision (RFD)

Title: _____

Meeting Date: _____

Department: _____

Recommendation:

Background:

See Appendix

Legislative Guidance:

Provincial Municipal None

Details:

Council Priorities Chart:

Yes No

Details:

Previous Council Direction:

Financial Implications:

Capital Operations Other

Details:

Communication and Engagement:

Implementation Timeline:

Attachments:

Prepared By: _____

Reviewed By: P. Podobroszny



ADMINISTRATION

Title: Financial Reserves Policy

Supersedes Policy No.: New

Policy Number: AD 1020-01

**Next Review Date: July 17,
2026**

**Date of Approval by Council: July
17, 2023**

Last Review Date: N/A

POLICY STATEMENT

A Reserve Policy is a prudent business practice that will strengthen the County of Minburn's financial position, ensure operational flexibility, and enhance cash flow management all of which will facilitate the achievement of the Council's Vision and Strategic Plan priorities.

PURPOSE

The purpose of this policy is to maintain consistent standards and guidelines for the establishment and ongoing management of Reserves including but not limited to the contributions, re-allocations and withdrawal from these Reserves.

DEFINITIONS

1. **"Capital Reserves"** – A Reserve sub-category for reporting which captures all Reserves that support the rehabilitation and/or replacement of tangible capital assets as defined in Policy AD 1011-01.
2. **"Commitments"** – Reserve funding that has been earmarked through the budget process to be applied towards specific expenditures.
3. **"Contingency Reserves"** – A Reserve sub-category for reporting which captures all Reserves that maintain funds to aid in stabilizing and

smoothing the temporary impact of unforeseen events, or unplanned fluctuations in activity.

4. **“Infrastructure Lifecycle, Maintenance and Replacement Reserves”** – A Reserve sub-category for reporting which captures all Reserves that tie to infrastructure lifecycle, maintenance and replacement of the County of Minburn’s tangible capital assets.
5. **“Operating Reserves”** – A Reserve sub-category for reporting which captures all Reserves that are primarily tied to the provision of municipal services.
6. **“Recommended Balances”** – Where applicable, Reserves will require a minimum and/or maximum recommended balance for the Reserve. These recommendations will be a formula based on ensuring sufficient funding levels to maintain infrastructure, capital and municipal services as determined by departments, endorsed by the Chief Administrative Officer, and approved by Council. Schedule “A” of the policy will provide a listing of the Reserve Descriptions and their recommended balances, if applicable. Falling below the recommended balance will trigger an increase in the priority in which funds are redesignated or allocated at the end of the fiscal year so as to increase the balance of the reserve.
7. **“Projects Reserves”** – A Reserve sub-category for reporting which captures all Reserves that tie to the non-cyclical Reserve needs of departments including operating and capital projects.
8. **“Redesignation of Reserve Funds”** – The process to change the purpose of Reserved funds from one Reserve to another.
9. **“Release of Reserve Funds”** – Reserve funds for which the purpose has been fulfilled or changed and is consequently closed. Any funding resulting from the release of a Reserve will be identified for redesignation to another Reserve or general surplus.
10. **“Reserve”** – Reserves are created when funds are set aside (designated) for a future purpose. Funds within a Reserve are restricted and will be applied as outlined in Schedule “A”
11. **“Reserve Description”** – A listing of Reserve Descriptions is found in Schedule “A” of this policy. Each Reserve Description contains the following:
 - the overall purpose, priority and use of the Reserve;
 - the internal or external source(s) of the Reserve funds;

- financial benchmarks regarding recommended balances and allocation;
- Reserve sufficiency and relevancy review requirements;
- interest entitlement.

12. **“Reserve Transaction”** – The following activity is considered a Reserve Transaction:

- contributions to the Reserve from internal or external sources;
- withdrawals from the Reserve to fund expenditures;
- Redesignation of the Reserve Funds;
- Release of the Reserve Funds.

13. **“Rural Reserves”** – A Reserve sub-category for reporting which captures all Reserves that relate to services and infrastructure that falls outside of hamlets and established subdivisions.

14. **“Urban Reserves”** – A Reserve sub-category for reporting which captures all Reserves that relate to services and infrastructure specially intended for County hamlets and the following subdivisions: Brookwood Estates, Wapasu.

GENERAL PRINCIPLES AND GUIDELINES

1. All Reserve transactions will be ratified by Council.
2. All Reserves will be administered in accordance with current municipal policies and the Public Sector Accounting Standards.
3. All Reserves must fall under or be established with an approved Reserve Description that is approved by Council.
4. Reserves will be funded from internal or external sources as defined in the Reserve Descriptions.
5. Transfers between as well as to and from the Reserve must be approved through Council via:
 - existing municipal policies including the Reserve parameters outlined in Schedule “A” of this policy;
 - the annual budget process;
 - the year end allocation process; and
 - Council resolution.

6. If Reserve transactions have not been approved through any of the above means, approval must be obtained prior to a transaction occurring from:
 - The Chief Administrative Officer for projects totaling \$5,000 or less;
 - Council for projects greater than \$5,000.
7. As part of the year end Reserve allocation process, any potential use, redesignation or release of Reserve funds will be identified.
8. Interest earnings will be applied to the Reserves which have been deemed interest bearing as indicated in the Schedule "A".
9. The process for completing reserve transactions, allocating interest, identifying underutilized commitments for projects that are funded in whole or in part by reserves and the composition of the reports to Council will be specifically addressed in written administrative procedures.
10. Reporting
 - Regular reporting on the Reserves will occur through the quarterly management report. The quarterly reporting will indicate the total of Reserves as grouped in the three Reserve sub-categories, and will include the opening and closing balances, annual allocations, existing commitments and completed reserve transactions.
 - The annual audited Financial Statements of the County will report Reserves as being restricted reserves within accumulated surplus, along with equity in tangible capital assets and unrestricted surplus.
11. Roles and Responsibilities
 - Departments

It is the responsibility of departments to be in compliance with the Reserves Policy and any related Administrative procedures related to reserves.

Departments are also expected to work with Finance to periodically review reserves for balance sufficiency with respect to future capital or replacement costs and relevancy so that the reserves remain aligned with Council's Vision and Strategic Plan priorities.
 - Finance

Finance will provide guidance to departments in complying with the intent of the policy by developing administrative procedure guidelines to support the Municipal Reserves Policy.

It is also the responsibility of Finance to monitor, record and report on reserve transactions so that they are completed in accordance the Financial Reserves Policy.

Attachments:

Schedule "A" Reserve Descriptions

DRAFT



Policy AD1020-01 Financial Reserves Policy - Schedule A - Reserve Description

Reserve	New or Existing	Type	Sub Type I	Sub Type II	Interest Bearing	Purpose	Source of Funding	Minimum Recommended Balance	Target and/or Maximum Recommended Balance	Allocation Priority
Surfaced Roads Infrastructure	New	Capital	Hybrid	Lifecycle	Yes	Fund the future overlays and rehabilitation of old Provincial Highways under County ownership and control	* Re-allocation of reserves * Budgeted Allocation * Interest	\$250,000	100% of costs identified in rolling 5 year capital plan	Medium
Facility Reserve	New	Capital	Urban	Lifecycle	Yes	Fund the future replacement and rehabilitation of existing County vertical infrastructure including shops, fire halls and administration buildings	* Re-allocation of reserves * Budgeted Allocation * Interest	\$100,000	50% of insured replacement value of included buildings	Medium
Hamlet Reserve	New	Capital	Urban	Lifecycle	Yes	Established to fund the future replacement and rehabilitation of existing infrastructure including road, sidewalks, utilities, drainage and signage in Hamlets and designated subdivisions	* Re-allocation of reserves * Budgeted Allocation * Interest	\$250,000	75% of costs identified in rolling 5 year capital plan	High
Bridges Reserve	Existing	Capital	Rural	Lifecycle	Yes	Used in conjunction with Provincial Grant funding to fund the capital replacement and rehabilitation of existing bridge infrastructure. Can also be used to fund periodic shortfalls in bridge maintenance tenders/contracts	* Re-allocation of reserves * Budgeted Allocation * Interest	\$500,000	75% of costs identified in rolling 5 year capital plan	High
Equipment	Existing	Capital	Hybrid	Lifecycle	Yes	Used in conjunction with Provincial Grant funding to fund the capital replacement and rehabilitation of existing heavy equipment and vehicles. Not intended to fund new acquisitions that expand the size of the existing fleet.	* Re-allocation of reserves * Budgeted Allocation * Interest	\$1,000,000	100% of costs identified in rolling 5 year capital plan	High
Fire - Consolidated	Existing	Capital	Hybrid	Lifecycle	Yes	Used to replace or rehabilitate fire vehicles and existing equipment. Could include new fleet additions is a cross over purpose is served	* Re-allocation of reserves * Budgeted Allocation * Interest * Donations	\$250,000	100% of costs identified in rolling 5 year capital plan	Medium
Rate Stabilization Reserve	New	Operating	Hybrid	Contingency	No	Used as a potential source of funds to stabilize tax rates in when unbudgeted events like a significant (>5%) loss of assessment or rampant inflation (>10%) negatively impact the municipal budget.	* Annual Surplus	\$2,000,000	20% of municipal tax levy	Medium
Gravel Reclamation	Existing	Operating	Rural	Project	No	Used as a source of funds to address future reclamation costs. Funding based on periodic third party cost estimates and reclamation timeframes	* Re-allocation of Reserves * Annual Surplus	greater of 25% of future reclamation costs or \$300,000	100% of estimated cost	Low/Medium
Utility Contingency	New	Operating	Urban	Contingency	No	Offset budget overruns in Utilities caused by unexpected line breaks, system failures	* Annual Surplus	\$50,000	\$50,000.00	High
Inclement Weather Contingency	New	Operating	Hybrid	Contingency	No	Offset cost overruns in the Operation Department in wages, fuel caused by inclement weather	* Annual Surplus	\$50,000	\$50,000.00	High
Aerial Imagery	Existing	Operating	Hybrid	Lifecycle	No	Used to offset the periodic updating of the aerial imagery	* Annual Surplus	\$0	\$50,000.00	Low
Subdivision Development	Existing	Operating	Urban	Project	No	Rec'd funding from subdivision owners used to enhance recreational infrastructure and green spaces in the County	*Received Cash in Lieu of Reserve Funds	\$0	\$100,000.00	Low
ACE Water Corporation	Existing	Operating	Hybrid	Contingency	No	Established as a source of funds to offset any future capital funding requests made by the ACE Board of Directors for expansion/improvements	* Annual Surplus * Budgeted Allocation	\$0	As required	Low
County - Industry Partnership	Existing	Operating	Hybrid	Project	No	Funds used to take advantage of strategic opportunities to boost economic development and the assessment base in the County	* Annual Surplus	\$0	\$250,000.00	Medium
Peace Park Reserve	Existing	Operating	Urban	Project/Contingency	No	Established to fund the future replacement and rehabilitation of existing infrastructure in the Park as well as periodic operational cost overruns	* Allocation of Unspent Peace Park Budget	\$0	\$100,000.00	Low
Landfill Liability	Existing	Operating	Hybrid	Project	No	Used to fund the cost of reclaiming landfills and transfer sites where a liability exists. Funding will be based on periodic third party cost estimates and closure time frames	* Annual Surplus	\$0	100% of estimated cost	Low/medium



Council Request for Decision (RFD)

Title: _____

Meeting Date: _____

Department: _____

Recommendation:

Background:

See Appendix

Legislative Guidance:

Provincial Municipal None

Details:

Council Priorities Chart:

Yes No

Details:

Previous Council Direction:

Financial Implications:

Capital Operations Other

Details:

Communication and Engagement:

Implementation Timeline:

Attachments:

Prepared By: _____

Reviewed By: P. Podoborsky



Council Request for Decision (RFD)

Title: Bridge Engineering Services

Meeting Date: 07/17/2023

Department: Operations

Recommendation:

THAT Council approve to have Administration posts a Bridge Engineering Services Request For Proposals with the results and recommendations to be brought to a future County Council meeting for approval.

Background:

See Appendix

The County of Minburn has traditionally used the services of WSP Engineering for all bridge engineering services. To ensure the requirements of Policy AD 1008-01 are met, administration proposes posting an RFP that will fulfill the requirements of the Canadian Free Trade Agreement and New West Partnership Trade Agreement. Once approved by Council, a standing agreement will be signed for three years, with the option of renewing for two additional one-year periods. This proactive approach will contribute to the continued development and maintenance of a safe and reliable bridge network within the County, benefiting its residents and stakeholders alike.

Legislative Guidance:

Provincial Municipal None

Details:

AD 1008-01: Procurement /Purchasing Policy

Council Priorities Chart:

Yes No

Details:

Previous Council Direction:

None

Financial Implications:

Capital Operations Other

Details:

Bridge Engineering services impacts both future capital and operational spending.

Communication and Engagement:

Implementation Timeline:

RFP to be posted within a month and results brought to Council by September/October

Attachments: None

Prepared By: N De Wet

Reviewed By: P. Padonofny



REEVE AND COUNCIL REPORTS

Name: _____ **Division:** _____

For Presentation at _____ **Council Meeting**

From Date: _____ **To Date:** _____

County Meetings (include date):

Boards and Committee Meetings (include date):

Education and Professional Development (include date):

County of Minburn Functions and Events (include date):



REEVE AND COUNCIL REPORTS

Name: _____ **Division:** _____

For Presentation at _____ **Council Meeting**

From Date: _____ **To Date:** _____

County Meetings (include date):

Boards and Committee Meetings (include date):

Education and Professional Development (include date):

County of Minburn Functions and Events (include date):



REEVE AND COUNCIL REPORTS

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Education and Professional Development (include date):

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REEVE AND COUNCIL REPORTS

Name: _____ **Division:** _____

For Presentation at _____ **Council Meeting**

From Date: _____ **To Date:** _____

County Meetings (include date):

Boards and Committee Meetings (include date):

Education and Professional Development (include date):

County of Minburn Functions and Events (include date):



REEVE AND COUNCIL REPORTS

Name: _____ **Division:** _____

For Presentation at _____ **Council Meeting**

From Date: _____ **To Date:** _____

County Meetings (include date):

Boards and Committee Meetings (include date):

Education and Professional Development (include date):

County of Minburn Functions and Events (include date):



REEVE AND COUNCIL REPORTS

Name: _____ **Division:** _____

For Presentation at _____ **Council Meeting**

From Date: _____ **To Date:** _____

County Meetings (include date):

Boards and Committee Meetings (include date):

Education and Professional Development (include date):

County of Minburn Functions and Events (include date):



REEVE AND COUNCIL REPORTS

Name: _____ **Division:** _____

For Presentation at _____ **Council Meeting**

From Date: _____ **To Date:** _____

County Meetings (include date):

Boards and Committee Meetings (include date):

Education and Professional Development (include date):

County of Minburn Functions and Events (include date):



ADMINISTRATION REPORTS

Name: Norm De Wet

Department: Operations

Reviewed by: *P. Padabonjny*

For Presentation at: July 17th, 2023, Council Meeting

From Date: June 19th, 2023

To Date: June 17th, 2023

Fleet/Shop Update:

- Unit 242 was involved in a collision with a deer on Hwy 881 on June 15th. The damages are being covered under our RMA insurance program.
- We are currently advertising for a new Shop Assistant due to the resignation of our current employee to pursue a new career.

Construction Update:

- Construction on Twp 504 in Div. 1 has been completed. There is some minor ditch bottom reclamation to complete.
- Construction crews are mobilized and working on Rge. Rd 85 in Div. 3. The project is scheduled for completion the week of July 10th.
- Construction crews will mobilize to Twp 514 in Div. 3 on approximately July 13th. The project is expected to take about ten days.
- The Innisfree Road project is seeing contractor delays due to fires and extreme weather in other parts of Alberta. APC Applied product crews are expected to mobilize and finish the project before the end of July 2023.
- The Mannville landfill project has been completed, and the Construction Completion Inspection was held on June 30th. The project is expected to be under budget, including the budget for engineering services.

- The oiling crew has completed the oil projects in Lavoy and will move to Twp 540 between Rge. Rd 141 and Rge 142 in Div. 4.

Transportation Update:

- The gravel haul program is underway in Div. 3 with Ken-X Energy. As of July 11th, 28,230 tonnes of gravel had been hauled.
- A contract has been signed with MPA Engineering to complete the outstanding bridge inspections from 2022, as well as the 2023 inspections and to develop a 5-year asset management plan for our bridge network.
- Griffin Contracting is waiting on the fabrication of the steel cap for the BF7640 project in Div. 7. The project is expected to commence before the end of July 2023.

Operations Update:

- The traffic counter program is underway, with the initial count of 26 sites focused on the lowest structural rating for bridges.
- Wowdzia Trucking has completed the gravel haul from Enns and Thiessen pit to the Golonowski pit. The original engineering estimate of gravel was 231,312 tonnes, and the total hauled tonnage was 224,153.50 tonnes.

Attachments:



ADMINISTRATION REPORTS

Name: Darwin Ullery

Department: Agriculture and Utilities

Reviewed by: *P. Podsharnoff*

For Presentation at: July 17, 2023, Council Meeting

From Date: June 12, 2023

To Date: July 10, 2023

Agricultural Service Board Update:

- Bertha Armyworm trapping is complete for the season. There is no cause for concern, however, the last count at our Mannville north trap spiked from 0 to 2 per week to 16 to 22. Producers in that area may want to scout fields.
- Roadside spraying contract will commence shortly.
- Brush spraying will commence the week of June 19th.
- Roadside mowing contract will commence August 1st and will proceed from the west heading east.
- Parks and Rec mowing in the hamlets and Wapasu is proceeding on schedule.
- Private land spraying is proceeding on schedule.
- Grasshopper and crop surveys will both be completed in August.
- ASBPC (ASB Provincial Committee) is seeking input from ASB's on the importance of Agricultural Extension (workshops, field days and tours promoting modern technology, government programs etc.) in their programming.
 1. Would your ASB like to enhance or add to your ag extension efforts?
 2. What are limiting factors to taking on more extension efforts?
 3. Should your ASB stick to regulatory enforcement of the weed control act, pest control act, soil conservation act along with provincial disease, insect, and crop surveys and leave extension to the applied research associations and industry? Discussion.

Water and Sewer Utility Update:

- The Town of Vegreville has given ACE Water Corporation notice that they no longer wish to be the operator of the ACE Water System. ACE is now seeking proposals from other potential utilities such as Strathcona County, County of Two Hills, EPCOR etc. When a new ACE operator has been selected, administration is certain that we will be approached by the successful candidate to operate Lavoy and our truck fill stations as we have already received inquiries from a few of them about the possibility.

Waste Management:

- The new container office for the Ranfurly Waste Transfer Station should be delivered and set up by the week of July 17, 2023.

Attachments: N/A



ADMINISTRATION REPORTS

Name: Davin Gegolick

Department: Planning & Development

Reviewed by: *P. Paduchowski*

For Presentation at: July 17, 2023 Council Meeting

From Date: June 16, 2023

To Date: July 13, 2023

Planning Update:

- Issued development permits: house addition (Pt. NE 36-51-14-4), farm shop (NW 26-50-13-4), farm shop (Pt. SE 13-51-9-4), 8-dwelling unit (Veg Colony), farm shop (Pt. SW 2-52-9-4), farm shop (NE 15-51-13-4)
- Provided environmental file search – Lot 1A, Plan 9023600
- Received Notice of Conservation Easement from Ducks Unlimited for NW&SW 19-49-10-4, and SW 22-50-10-4
- Phone call from resident regarding underground tunnel on property in Lavoy
- Complete unsightly premise inspections – Ranfurly
- Billboards have been installed on County property, east of Vegreville
- Orthophoto update - all hamlets have been flown, rural areas are next
- Innotech Alberta Field Day on July 27. Pre-registration is required.
- Meeting with AHS Health Inspector and Manager of Central Zone to review environmental public health manual for municipalities – June 27
 - Water sampling at Minburn and Ranfurly halls

Subdivision Update:

- Received subdivision file#05-2023
- Prepared subdivision endorsement: file #06-2022
- Completed subdivision inspection: file#05-2023

Economic Development Update:

- Met with the Village of Mannville to review their comments on the draft East Industrial Park Joint ASP. All stakeholder comments have been addressed in the 2nd Reading version of the ASP.
- Regional Economic Development Framework – kick-off meeting planned for August 1

- Alberta HUB meeting – July 13

Attachments:

RFD – Utility within road allowance special approval request

RFD – Subdivision File#05-2023

RFD – East Industrial Park ASP Bylaw 2nd and 3rd Reading



ADMINISTRATION REPORTS

Name: Mike Fundytus

Department: Protective Services

Reviewed by: *P. Padolony*

For Presentation: at July 17th Council Meeting

Department Updates:

Call Type	Date	Details
MVC	June 17	Hwy 16 RR 84 Mannville attended.
False Alarm	June 17	11128 Hwy 631 False alarm Innisfree attended
Medical	July 3	Village Medical Mannville attended
Medical	July 4	County Medical Mannville attended.
MVC	July 8	Hwy 16 RR 103 Innisfree attended.
Medical	July 8	County Medical Mannville attended.

Mannville 4
Innisfree 2
Vegreville 0

Currently issuing permits till July 30.

All units have returned from deployment.

Fire Apparatus Planning with Town of Vegreville.

Mannville station members assisted Golf Course in Canada Day Activities.

Innisfree station members assisted Village with Canada Day Pancake breakfast.

Recruitment update 2 members joined Mannville station in the last month, 1 member gave notice of retirement date. Member will retire in fall of 2023. Innisfree station had 2 members return to duty status after injury. (non-county related)

Regional Emergency Management Agency meeting set November as a tentative date to conduct an ICP activation exercise.



ADMINISTRATION REPORTS

Name: _____ **Department:** _____

Reviewed by: *P. Podobinskiy*

For Presentation at: _____ **Council Meeting**

From Date: _____ **To Date:** _____

Department Updates:

Department Updates Cont'd.:

Attachments:



County of Minburn No. 27
2023 Statement of Financial Position
As At June 30, 2023

FINANCIAL ASSETS	Jun/2023	May/2023	Dec/2022
Cash & Temporary Investments	17,605,082	19,223,547	26,813,364
Receivables			
Taxes & Grants in Place of Taxes Receivable	15,997,522	143,014	341,330
Due From Governments	68,364	32,760	216,178
Trade & Other Receivables	252,886	43,361	393,821
Long Term Receivables	623,255	630,512	785,606
Land Held for Resale	169,407	169,407	169,407
Total Financial Assets:	\$ 34,716,516	\$ 20,242,600	\$ 28,719,706
LIABILITIES	Jun/2023	May/2023	Dec/2022
Accounts Payable & Accrued Liabilities	326,451	358,434	1,236,781
Asset Retirement Obligation	398,008	398,008	398,008
Deposit Liabilities	-	-	-
Deferred Revenue	1,337	1,337	37,722
Employee Benefit Obligations	- 30,033	- 28,551	224,462
Total Liabilities:	\$ 695,763	\$ 729,228	\$ 1,896,973
Net Financial Assets:	\$ 34,020,753	\$ 19,513,373	\$ 26,822,733
NON-FINANCIAL ASSETS	Jun/2023	May/2023	Dec/2022
Tangible Capital Assets	27,170,734	27,170,734	27,170,734
Inventory for Consumption	6,962,511	7,097,365	7,095,377
Prepaid Expenses	4,702	3,742	229,459
Total Non-Financial Assets:	\$ 34,137,947	\$ 34,271,841	\$ 34,495,570
ACCUMULATED SURPLUS:	\$ 68,158,699	\$ 53,785,213	\$ 61,318,303
Difference:	\$ 6,840,396	-\$ 7,533,090	



County of Minburn No. 27

2023 Revenue & Expenditure Report

For Month Ending June 30, 2023

REVENUE	2023 Current Month	2023 Year-To-Date	2023 Budget	% of Budget Used	Same Period Last Year
Net Municipal Taxes	15,312,608	14,655,436	13,498,190	108.6%	110.1%
User Fees & Sale of Goods	67,755	175,071	342,950	51.0%	46.2%
Government Transfers	139	73,037	3,145,411	2.3%	3.6%
Investment Income	249,949	155,730	532,500	29.2%	59.4%
Penalties & Costs on Taxes	220	50,863	112,900	45.1%	31.4%
Gain on Disposal of Tangible Assets	-	84,400	139,300	60.6%	0.0%
Other	202,220	308,705	189,723	162.7%	86.4%
Totals:	\$ 15,832,891	\$ 15,503,241	\$ 17,960,974	86.3%	70.5%

EXPENDITURES	2023 Current Month	2023 Year-To-Date	2023 Budget	% of Budget Used	Same Period Last Year
Administrative & Legislative	156,667	1,184,785	2,962,002	40.0%	39.7%
Fire Protection & Safety Services	117,503	324,960	974,507	33.3%	40.3%
Ambulance Services	-	9,060	11,000	82.4%	116.4%
Policing Services	-	158,483	230,000	68.9%	19.6%
Bylaw Enforcement, Health & Safety	1,536	9,188	77,650	11.8%	33.5%
Roads, Streets, Walks, Lights	900,802	6,108,022	19,931,007	30.6%	23.5%
Water Supply & Distribution	20,867	64,221	253,194	25.4%	51.4%
Wastewater Treatment & Disposal	3,003	16,763	86,596	19.4%	32.5%
Waste Management	120,350	314,850	789,339	39.9%	46.3%
Family & Community Support Services	-	81,628	163,756	49.8%	49.8%
Cemeteries	4,000	4,000	4,231	94.5%	75.6%
Planning & Economic Services	27,655	135,341	565,428	23.9%	26.6%
Agricultural Services Board	37,900	135,676	608,742	22.3%	23.8%
Recreation & Library Services	69,121	115,867	853,967	13.6%	6.4%
Totals:	\$ 1,459,405	\$ 8,662,845	\$ 27,511,419	31.5%	26.8%

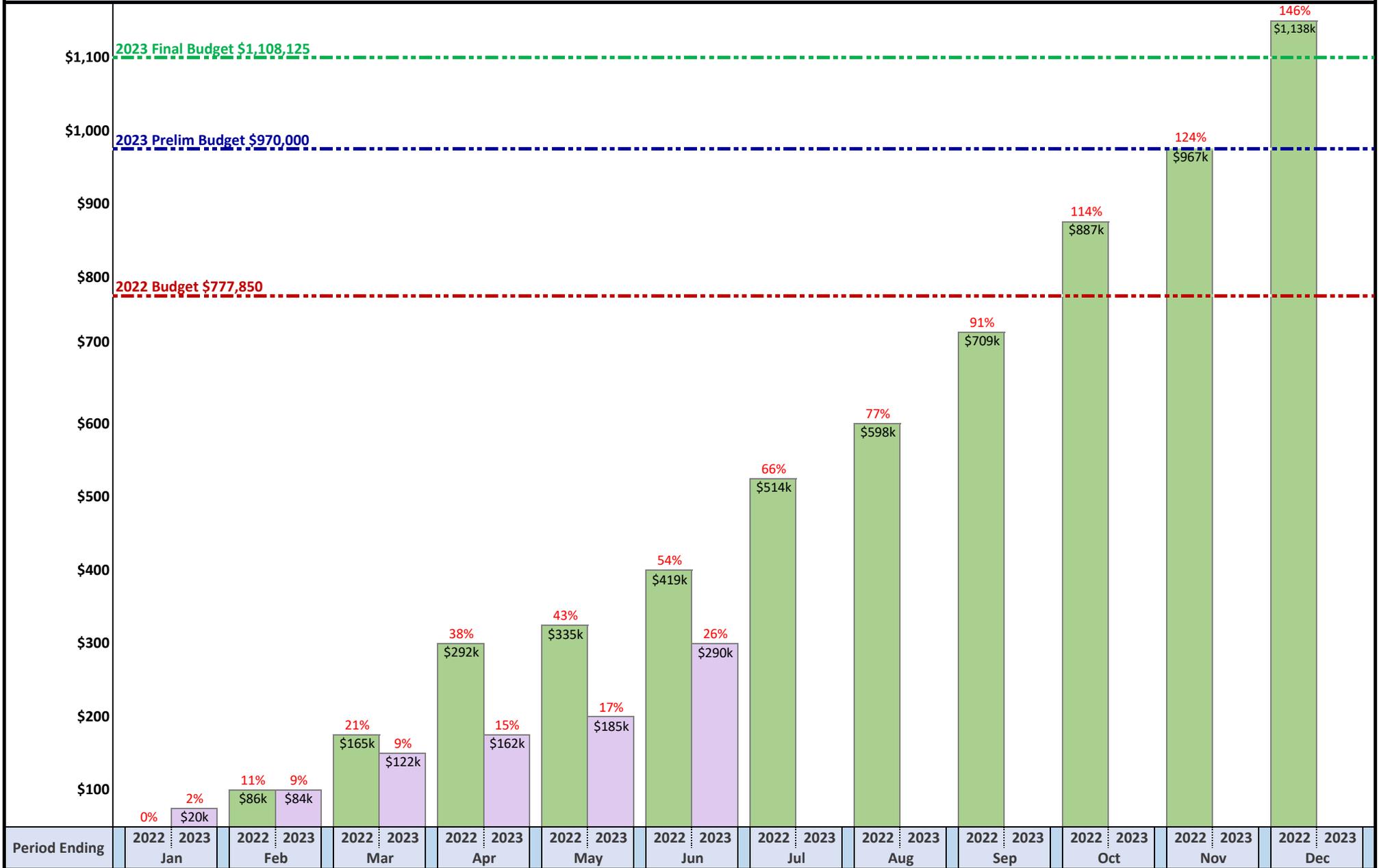
Difference:

\$ 6,840,396

County of Minburn No. 27

County-Wide Fuel 2022 - 2023 Comparison

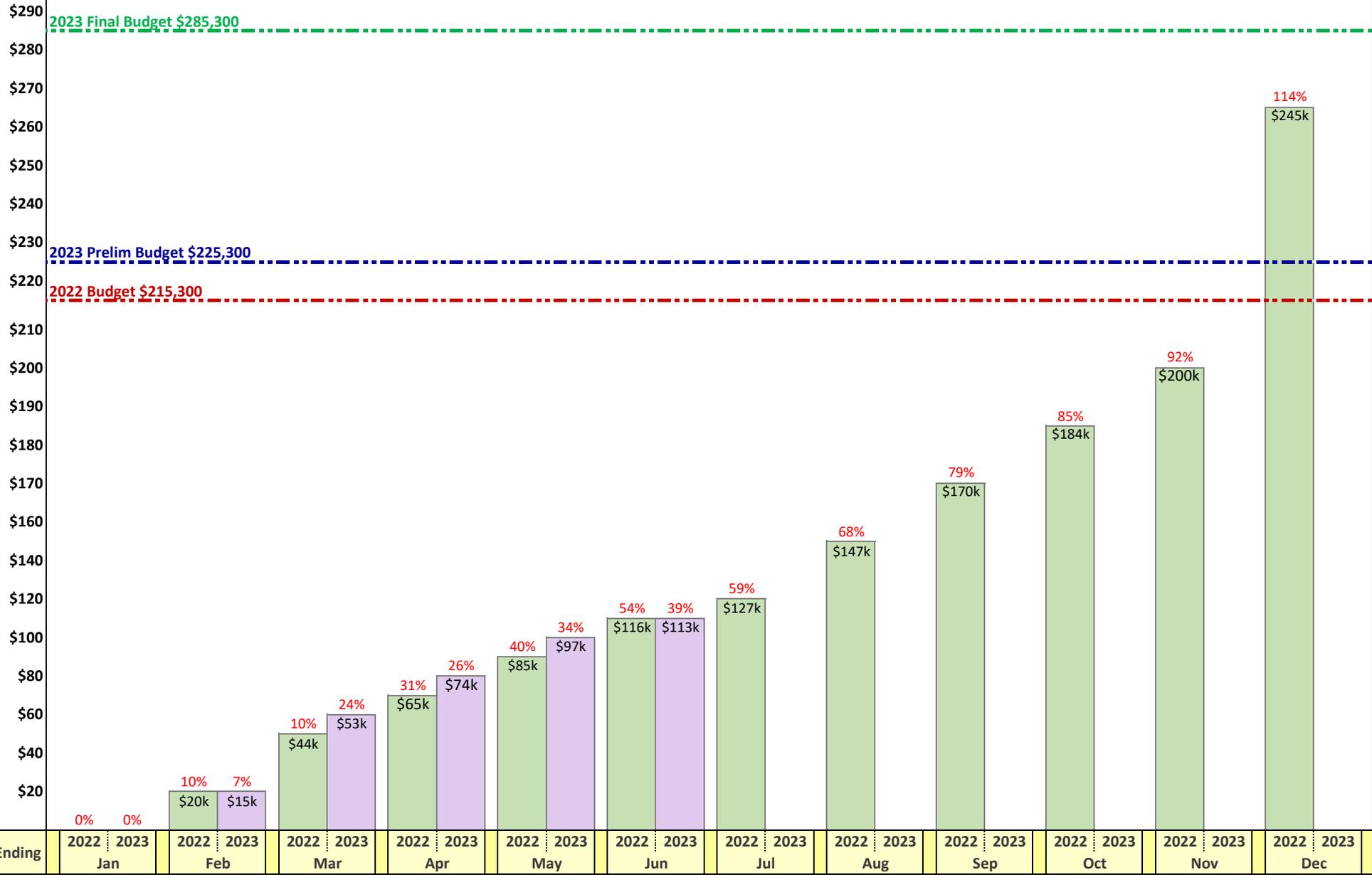
In Thousands



County of Minburn No. 27

County-Wide Utilities 2022 -2023 Comparison

In Thousands



COUNTY OF MINBURN NO. 27

2023 Monthly Progress Report - At June 30, 2023

Decision Papers - Operating								
Project Name	20%	40%	60%	80%	100%	Budget	Spent	Comments
Staff Remuneration / Compensation	<div style="width: 100%; height: 10px; background-color: #006400;"></div>					\$ 153,000	N/A	Implemented January 1/2023 - Ongoing costs
Peace Park Funding Increase	<div style="width: 0%; height: 10px; background-color: #006400;"></div>					\$ 4,825	\$ -	Funded from Reserve if required at end of year
Wapasu Park Improvements	<div style="width: 0%; height: 10px; background-color: #006400;"></div>					\$ 35,400	\$ -	Wapasu Committee focus will be 12 new tables and new cookshack roof
Firefighter Training Wage Increase	<div style="width: 100%; height: 10px; background-color: #006400;"></div>					\$ 8,000	N/A	Implemented January 1/2023 - Ongoing costs
Land Use Bylaw Review	<div style="width: 60%; height: 10px; background-color: #006400;"></div>					\$ 50,000	\$ 19,084	Land Use Bylaw is being drafted
Reg. Economic Development Framework	<div style="width: 30%; height: 10px; background-color: #006400;"></div>					\$ 112,000	\$ 25,000	Project awarded to Market Research & Consulting; kick-off meeting in August
Orthophoto Update	<div style="width: 30%; height: 10px; background-color: #006400;"></div>					\$ 75,000	\$ -	Work awarded to Tarin Resource Services; flights being done June-Sept 2023
Traffic Counters	<div style="width: 100%; height: 10px; background-color: #006400;"></div>					\$ 7,315	\$ 5,365	Purchased and in use
Mannville WTS - Storage Area Expansion	<div style="width: 0%; height: 10px; background-color: #006400;"></div>					\$ 10,000	\$ 5,100	Lego Blocks purchased
Mannville Landfill Reclamation	<div style="width: 60%; height: 10px; background-color: #006400;"></div>					\$ 444,800	\$ 114,766	Tender awarded to PME Inc.; work to be completed summer 2023
Beaver Harvest Incentive Program	<div style="width: 100%; height: 10px; background-color: #006400;"></div>					\$ 6,000	\$ -	Implemented January 1/2023 - \$6,460 Carried over from 2022
Municipal Development Plan Review	<div style="width: 60%; height: 10px; background-color: #006400;"></div>					\$ 39,671	\$ 27,019	MDP adopted on June 19/2023
Protective Services Assistant	<div style="width: 0%; height: 10px; background-color: #006400;"></div>					\$ 87,100	\$ -	No Grant funding rec'd; Admin Summer Student tasked with some PS duties
Decision Papers - Capital								
Project Name	20%	40%	60%	80%	100%	Budget	Spent	Comments
Fleet Truck Replac. - 1 One Ton Truck	<div style="width: 100%; height: 10px; background-color: #000080;"></div>					\$ 79,000	\$ 72,849	Truck delivered and is in use
Two CAT 160 Motor Graders	<div style="width: 0%; height: 10px; background-color: #000080;"></div>					\$ 1,298,000	\$ -	On order; to be delivered fall 2023
D6/D7 Loader Undercarriage Refurbish	<div style="width: 100%; height: 10px; background-color: #000080;"></div>					\$ 131,013	\$ 131,013	Equipment repairs complete
Mannville Salt Shed	<div style="width: 80%; height: 10px; background-color: #000080;"></div>					\$ 155,750	\$ 21,000	Construction started and expected to be done by the end of July
Hwy 16A Upgrades - East	<div style="width: 80%; height: 10px; background-color: #000080;"></div>					\$ 555,200	\$ -	Work has commenced; completion scheduled for July 15
Lavoy Drainage Improvements	<div style="width: 0%; height: 10px; background-color: #000080;"></div>					\$ 1,835,045	\$ -	Letter of Intent sent to AEPA to determine if this project can be funded
Lavoy Sidewalk Improvements	<div style="width: 0%; height: 10px; background-color: #000080;"></div>					\$ 33,400	\$ -	Tender awarded to Northwind Concrete; work scheduled for July 2023
2020 Construction Program Addn'l Costs	<div style="width: 100%; height: 10px; background-color: #000080;"></div>					\$ 20,000	\$ 20,000	Implemented January 1/20223 - Ongoing costs; GraveLock delivered
BF7640 Repairs	<div style="width: 80%; height: 10px; background-color: #000080;"></div>					\$ 322,000	\$ -	Tender awarded to Griffin contracting; repairs scheduled for July 2023
Ranfurly WTS Skid Shack Office	<div style="width: 0%; height: 10px; background-color: #000080;"></div>					\$ 54,200	\$ 15,925	Tender awarded to Coast Containers Ltd.; delivery pending final payment
Mannville & Innisfree Fire Hall Repairs	<div style="width: 0%; height: 10px; background-color: #000080;"></div>					\$ 20,000	\$ -	Work has begun, waiting on invoices
SCBA Purchase	<div style="width: 100%; height: 10px; background-color: #000080;"></div>					\$ 212,593	\$ 27,033	Tender awarded to Associated Fire Safety Group; supply agreement signed
DJI M30T Drone Purchase	<div style="width: 100%; height: 10px; background-color: #000080;"></div>					\$ 20,000	\$ 18,695	Equipment purchased and in use
Unit #912 Portable Tank	<div style="width: 0%; height: 10px; background-color: #000080;"></div>					\$ 11,000	\$ -	Equipment is being quoted and ordered
Road Maintenance Activities								
Road Projects	20%	40%	60%	80%	100%	Comments		
Road Construction	<div style="width: 0%; height: 10px; background-color: #808080;"></div>					Road Construction in progress		
Gravel Haul Program	<div style="width: 0%; height: 10px; background-color: #808080;"></div>					Program in progress		
Oiling Projects	<div style="width: 0%; height: 10px; background-color: #808080;"></div>					Program in progress		
Dust Controls	<div style="width: 100%; height: 10px; background-color: #808080;"></div>					Dust Controls Completed		
Roadside Mowing	<div style="width: 0%; height: 10px; background-color: #808080;"></div>					Program to begin August 1, 2023		
Roadside Brushing	<div style="width: 80%; height: 10px; background-color: #808080;"></div>					Brushing mostly done for the '23 season; to be continued in fall for 23/24 season		



County of Minburn No. 27

Quarterly Report - Investment Income

As At June 30, 2023

Financial Institution	Investment Fund	Term	Investment Date	Maturity Date	Current Month Investment Amount	Int Rate/Annum	2023 Interest Accrued	2023 Interest Received
ATB	Operating Acct	Monthly	Monthly	Monthly	\$ 658,611.68	5.15%	\$ -	\$ 30,204.17
ATB	Gen Op 31 days	31 day	Monthly	Monthly	\$ 2,197.15	5.35%	\$ -	\$ 3,161.69
ATB	MSI Cap	31 day	Monthly	Monthly	\$ -	5.35%	\$ -	\$ 5,843.21
ATB	Village	31 day	Monthly	Monthly	\$ -	5.35%	\$ -	\$ 6,008.43
ATB	SIP Combined	31 day	Monthly	Monthly	\$ -	5.35%	\$ -	\$ 2,462.11
ATB	Equip Combined	90 day	Monthly	Monthly	\$ 61,160.40	5.45%	\$ -	\$ 16,466.63
ATB	Tax Recovery Y	90 day	Monthly	Monthly	\$ 2,910.67	5.45%	\$ -	\$ 73.89
ATB	Sale Proceeds HofM	31 day	Monthly	Monthly	\$ 59,584.77	5.35%	\$ -	\$ 1,484.14
ATB	MUSH Savings	Monthly	Monthly	Monthly	\$ 1,726,927.54	5.32%	\$ -	\$ 78,468.62
Totals:					\$ 2,511,392.21		\$ -	\$ 144,172.89
ATB	GIC	6 month	Oct 13/22	Apr 13/23	\$ -	4.36%	\$ -	\$ 6,134.93
ATB	GIC	6 month	Oct 27/22	Apr 27/23	\$ -	4.78%	\$ -	\$ 30,560.43
ATB	GIC	9 month	Oct 31/22	Jul 31/23	\$ 2,000,000.00	5.07%	\$ 50,283.29	\$ -
ATB	GIC	15 month	Oct 13/22	Jan 13/24	\$ 750,000.00	4.93%	\$ 18,335.55	\$ -
ATB	GIC	24 month	Sep 22/22	Sep 22/24	\$ 500,000.00	4.81%	\$ 11,926.16	\$ -
ATB	GIC	24 month	Oct 13/22	Oct 13/24	\$ 750,000.00	5.03%	\$ 18,707.47	\$ -
ATB	GIC	36 month	Sep 22/22	Sep 22/25	\$ 500,000.00	4.80%	\$ 11,901.37	\$ -
ATB	GIC	48 month	Sep 22/22	Sep 22/26	\$ 1,000,000.00	4.76%	\$ 23,604.38	\$ -
ATB	GIC	60 month	Sep 22/22	Sep 22/27	\$ 1,000,000.00	4.79%	\$ 23,753.15	\$ -
Totals:					\$ 6,500,000.00		\$ 158,511.37	\$ 36,695.35
CWB	GIC	15 month	May 4/22	Aug 4/23	\$ 515,055.17	2.98%	\$ 2,396.91	\$ 5,063.44
CWB	GIC	18 month	Feb 25/22	Aug 25/23	\$ 763,875.00	1.85%	\$ 4,839.62	\$ 2,128.77
CWB	GIC	21 month	Feb 25/22	Jun 25/24	\$ 1,791,125.00	2.35%	\$ 14,414.88	\$ 6,309.59
CWB	GIC	36 month	Mar 11/22	Mar 11/25	\$ 1,027,500.00	2.75%	\$ 8,593.00	\$ 5,273.97
CWB	GIC	30 month	Mar 31/22	Sep 30/24	\$ 1,029,500.00	2.95%	\$ 7,571.76	\$ 7,273.97
CWB	GIC	12 month	Jun 7/22	Jun 7/23	\$ -	3.30%	\$ -	\$ 7,142.47
CWB	GIC	36 month	Jun 7/22	Jun 7/25	\$ 520,750.00	4.15%	\$ 414.46	\$ 8,982.19
CWB	GIC	42 month	Mar 31/22	Sep 30/25	\$ 1,031,750.00	3.18%	\$ 8,167.08	\$ 7,828.77
CWB	GIC	48 month	May 4/22	May 4/26	\$ 519,250.00	3.85%	\$ 3,121.90	\$ 6,539.73
CWB	GIC	48 month	Aug 2/22	Aug 2/26	\$ 500,000.00	4.70%	\$ 11,653.42	\$ -
CWB	GIC	60 month	May 4/22	May 4/27	\$ 519,500.00	3.90%	\$ 3,163.97	\$ 6,624.66
CWB	GIC	60 month	Aug 2/22	Aug 2/27	\$ 500,000.00	5.00%	\$ 12,397.26	\$ -
Totals:					\$ 8,718,305.17		\$ 76,734.26	\$ 63,167.55

Totals to June 30/2023: **\$ 17,729,697.38** **\$ 235,245.63** **\$ 244,035.80**

~ 2023 INTEREST SUMMARY ~	
Total Interest Accrued at June 30/2023	\$ 235,245.63
Total Interest Received at June 30/2023	\$ 244,035.80
Grand Total Interest	\$ 479,281.42
2023 Budgeted Total Interest	\$ 532,500.00
% of Budget Received	45.83%
Interest Received - Same Period Last Year	\$ 121,780.58



ALBERTA

MUNICIPAL AFFAIRS

Office of the Minister
MLA, Calgary-Hays

RECEIVED

JUL 04 2023

COUNTY OF MINBURN NO. 27

AR111596

June 23, 2023

Reeve Roger Konieczny
County of Minburn No. 27
PO Box 550
4909 50 Street
Vegreville AB T9C 1R6

Dear Reeve Konieczny:

Thank you for the recent letter from the County of Minburn regarding assessment and property tax initiatives for the oil and gas sector.

As you are aware, in October 2020, the Alberta government committed to not making substantive changes to assessment models for wells, pipelines, and wellsite machinery and equipment for three years. Instead, government implemented several property assessment and taxation incentives, including the elimination of the Well Drilling Equipment Tax and a tax reprieve for new wells and pipelines for the 2022-24 taxation years. These measures supported economic recovery and provided certainty to industry, investors, municipalities, and other property taxpayers.

I appreciate your concerns regarding the impact these incentives have had on municipal revenues. However, there are currently no plans to discontinue the property tax incentives for new wells and pipelines before the end of the three-year commitment. Maintaining a stable and strong oil and gas industry continues to benefit communities in Alberta through job creation and related economic activity.

The Alberta government understands the essential role the County of Minburn plays in the province's economy, notably in the agriculture, and oil and gas sectors. Municipal Affairs will continue to facilitate economic development in the county and across Alberta by supporting growth in key sectors and positioning our province for economic prosperity.

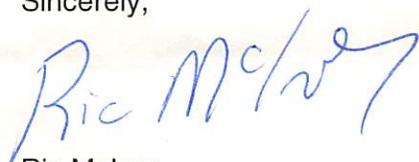
Municipal Affairs recently worked with the former Ministry of Energy (now Energy and Minerals) to address the concerns raised by municipalities, constituents, and industry regarding taxation on oil and gas property. As result, a new directive, effective April 30, 2023, was issued to the Alberta Energy Regulator (AER) by way of the *Responsible Energy Development Act*. The payment of municipal taxes is now a mandatory condition for the AER to approve licence transfers between oil and gas companies, or to grant new licences. Municipal Affairs has begun collaborating with rural municipalities on a quarterly basis to create and update an official list of companies with tax arrears. This list is used by the AER to determine a company's eligibility for new or transferred licences.

.../2

The initial intake of information included a data submission from 44 municipalities reporting \$69.2 million in tax arrears from 102 energy development companies. I appreciate your cooperation in providing the AER with tax arrears in your municipality. As a result of this work, several municipalities have reported tax arrears that are now paid.

I look forward to continuing to work with the County of Minburn to strengthen the province's communities.

Sincerely,



Ric McIver
Minister

cc: Honourable Brian Jean KC, Minister of Energy and Minerals
Pat Podoborzny, Chief Administrative Officer, County of Minburn



ALBERTA
MUNICIPAL AFFAIRS

*Office of the Minister
MLA, Calgary-Hays*

AR111593

July 7, 2023

Reeve Roger Konieczny
County of Minburn
PO Box 550
4909 - 50 Street
Vegreville AB T9C 1R6

Dear Reeve Konieczny:

Further to my predecessor's letter of March 2, 2023, a strong partnership between the province and local governments remains a key priority for the Government of Alberta. To that end, I am pleased to confirm the allocation amounts to your community for the Municipal Sustainability Initiative (MSI) Capital and Operating programs, and the Canada Community-Building Fund (CCBF) program.

For the County of Minburn:

- The **2023 MSI Capital allocation is \$838,363.**
- The **2023 MSI Operating allocation is \$302,710**, double the 2022 allocation amount.
- The **2023 CCBF allocation is \$199,574.**

MSI and CCBF funding amounts for all municipalities and Metis Settlements are posted on the Government of Alberta website at open.alberta.ca/publications.

I look forward to working together with you to support your local infrastructure and operating needs, and building strong, vibrant communities across Alberta.

Sincerely,

Ric McIver
Minister

cc: Pat Podoborzny, Chief Administrative Officer, County of Minburn

**COMMITTEE OF THE WHOLE
AND COUNCIL MEETING ACTION ITEMS**

Action List Item No.	Motion No.	Meeting Date	Description	Percentage Completed	Person Responsible	Date Completed	Notes
2324	2023-13	16-Jan-23	Table In-kind Donation Policy until February Committee of the Whole meeting for further discussion.	50%	Jay		Discussion paper and draft policy will be presented at the September Committee of the Whole meeting.
2258	2023-137	19-Jun-23	Closure of Regular Road Allowance Policy OP 9023-01 rescinded and Closure of Undeveloped Road Allowance Policy PDS 7005-010 approved.	100%	Audra	19-Jun-23	Policies updated.
2259	2023-140	19-Jun-23	Notify Outlook Market Research of Council's decision to award tender for Regional Economic Development Framework and prepare agreement. Also notify Town of Vegreville and Villages of Innisfree and Mannville.	100%	Davin	19-Jun-23	Notified Outlook Market Research, Town of Vegreville, and Villages of Innisfree and Mannville that tender was awarded.
2260	2023-141	19-Jun-23	Install two "Yield" signs north and south of the intersection of Range Road 93 and Township Road 514 in Division 3.	100%	Norm	19-Jun-23	Signs have been installed.
2261	2023-142	19-Jun-23	Issue 2023 funding to Lavoy, Innisfree, Ranfurly and Minburn cemeteries in the amount of \$1,000. Draft cemetery operation agreements with all four cemeteries.	50%	Jay/Trudy/Dwight		Payments will be issued following the execution of agreements. Meetings are being scheduled with the cemetery boards.
2262	2023-142	19-Jun-23	Notify non-profit organizations of Council's decision to approve 2023 Community Centre grant funding, and request annual financial return and board contact information. Issue payments.	100%	Trudy/Dwight	29-Jun-23	Payments were issued June 29, 2023. Letters sent to non-profit organizations requesting up-dated financial returns and board contacts.
2263	2023-144	19-Jun-23	Vegreville hay land tender (Lot 1, Block 9, Plan 062 1770 in NE 8-52-14-W4M) awarded to Kirsten Fischer for three-year term, beginning June 15, 2023 and ending March 31, 2026 for cost of \$930 a year plus property tax. Notify lessee and prepare agreement. Add lessee to tax roll and send property tax notice.	100%	Shirley, Dwight	21-Jun-23	Kirsten Fisher has been notified and lease has been signed. Fischer has also been added to the tax roll as a lessee.
2264	2023-145	19-Jun-23	Notify Bonnie Joynt's decision to deny request to waive false alarm charge of \$250.	100%	Mike	21-Jun-23	Bonnie Joynt has been notified of Council's decision.
2265	2023-149	19-Jun-23	Council approved to review Code of Conduct Bylaw No. 1280-19.		Pat		Research in progress